



CITY OF BUNKER HILL VILLAGE
APPLICATION FOR
SPECIFIC USE PERMIT

RECEIVED MAR 30 2023

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Entity Making Application Memorial Drive Presbyterian Church

Representative's Name: Michelle Carter with Merriman Holt Powell Architects

Mailing Address: 3900 Essex Lane, Suite 200, Houston, Texas Zip: 77027

Property Address (If Different): 11612 Memorial Drive, Houston, Texas 77024

Phone: 713-540-3191 Email: mcarter@mhparch.com

Category of Project (See 8.02 Below) Church A Zoning District A B

Description of Project Replacement of existing signs (3 Total), New pickleball courts (2 Total) with covered structure and site amenities.

(This description may be used for all meeting and public notices)

Comments for Consideration of the Application: The proposed project is replacing the existing signage in the same location. They are all two sided and will have new foundations with digital signs similar to the existing. See drawings.

The new pickleball court will be constructed over the asphalt parking lot. Additional asphalt is being removed so that there will be not additional impervious cover added. There will be a small pavilion added for sun shade. The parking calculations will still be met with the removal of the 19 spaces.

3/29/2023

Signature of Applicant

Date

Attachments as applicable:

- Site Plan
- Any Additional Information

A fee of \$1,000.00 is required for processing



CITY OF BUNKER HILL VILLAGE
ZONING ORDINANCE EXERPT
SPECIFIC USE PERMIT

§ 8.01. - Purpose.

The purpose of the regulations described in this article is to allow within the city the proper integration of uses which may be suitable only in specific locations within the city's two (2) zoning districts.

§ 8.02. - Uses requiring permits.

In addition to the certificate of zoning compliance called for in this ordinance, a specific use permit shall be required before any of the following specific uses will be permitted within either of the two (2) zoning districts of the city:

- A. *Churches.* Churches or other places of religious worship.
- B. *Subdivision or homeowner association recreation centers.* Subdivision or homeowners association swimming pools and recreation centers.
- C. *Utility regulator stations.* Gas, electric, or public utility regulator stations.
- D. *Telecommunications facilities.* Buildings, equipment, transmission/receiving towers, and other necessary ancillary structures of telecommunications providers. Provided, however, no specific use permit for a telecommunications facility shall be approved if:
 - 1. The proposed facility would adversely affect the residential integrity of adjacent or area neighborhoods;
 - 2. The proposed facility would create visual blight;
 - 3. The proposed facility would create noise or light pollution; or
 - 4. The proposed facility would create a nuisance to adjacent or area properties; and
 - 5. The applicant is unable to establish that it cannot provide service to the city from other available locations or existing facilities;
 - 6. The proposed facility would fail to utilize state of the art technology to achieve the above objectives; or
 - 7. The proposed facility would fail to comply with all safety standards promulgated by the Federal Communications Commission, or other agency having jurisdiction thereover.Provided further, each applicant for a specific use permit shall demonstrate that in designing the proposed telecommunications facility it has utilized state of the art technology to minimize adverse effects to the residential integrity of surrounding or area residential properties. In addition, each facility authorized hereby shall comply fully with all applicable safety standards established or hereafter promulgated by any state or federal law, or agency rule or regulation, applicable thereto.
- E. *Educational facilities.* Public or private, primary or secondary institutions of learning.

(Ord. No. 97-200, § 1, 8-19-97; Ord. No. 11-404, § 2, 9-20-11)

§ 8.03. - Procedure.

A specific use permit is an amendment to the district regulations of this ordinance and permits the permanent establishment of a specific use within a zoning district. The following conditions and procedures shall attend an application for a specific use permit:

- A. *Amendment required.* The director of public works shall not issue a certificate of zoning compliance for such specific uses as may be hereafter created, changed, converted, or enlarged, in whole or in part, until and unless a specific use permit has been obtained in accordance with the amendment procedures set forth in article XIII of this ordinance.
- B. *Application requirements.* Application for a specific use permit shall be made by the property owner or his or its certified agent or representative to the planning and zoning commission on forms prescribed for that purpose by the city council. Such application shall be accompanied by a plot plan as set forth in [section 10.04](#) of this ordinance. Specific use permits, revocable, conditional, or valid for a term period, may be issued for any of the uses or purposes for which such permits are required or permitted by the terms hereof. Granting a specific use permit does not exempt the applicant from complying with the requirements of the building code and all other ordinances of the city.
- C. *Considerations.* In considering any application for a specific use permit, the planning and zoning commission shall give due regard to the nature and condition of all adjacent land, uses, and structures. Such commission may recommend disapproval of an application for a specific use permit or approval subject to such requirements and conditions with respect to location, construction, maintenance, and operation, in addition to the regulations of the district in which the particular use is located, as it may deem necessary for the protection of adjacent properties and the public interest.

§ 8.04. - Planning and zoning commission report.

Before any specific use is permitted in the applicable zoning district, a report from the planning and zoning commission must be directed to the city council accompanied by the commission's recommendation for approval or denial. The report shall include, but need not be limited to, the following:

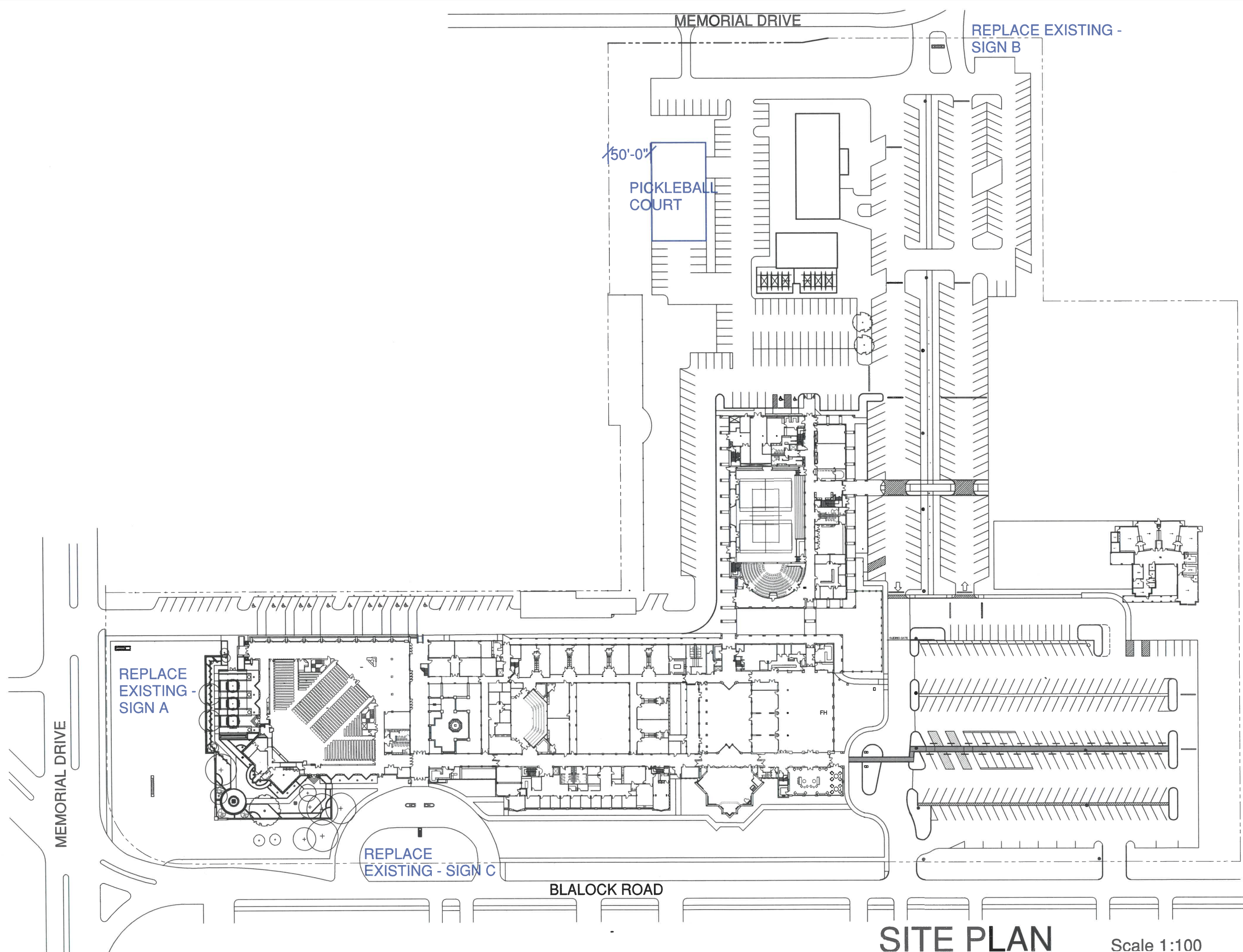
- A. *Ingress and egress.* Ingress and egress to the property and proposed structures thereon, with particular reference to automobile and pedestrian safety and convenience, traffic flow and control, and access in the event of fire or other catastrophe.
- B. *Off-street parking.* Off-street parking and loading areas where required, with particular attention to the items set forth in subsection A of this section, and the economic, noise, glare, and other affects [effects] of the specific use on adjoining properties and other properties generally in the district and city.
- C. *Service areas.* Refuse and service areas, with particular reference to the items set forth in subsections A and B of this section.

- D. *Utilities.* Utilities with reference to location, availability, and compatibility.
- E. *Screening and buffering.* Screening and buffering, either or both, with reference to type, dimensions, and character.
- F. *Signs and lighting.* Sign location and size, proposed exterior lighting with reference to glare and traffic safety and compatibility and harmony with adjacent property and other properties generally in the district and city.
- G. *Yards and open spaces.* Landscaping and required yards, open spaces, and building setback lines.
- H. *Compatibility.* General compatibility with adjacent properties and other properties in the district and city.
- I. *Conformity.* The conformity of the proposed use with the requirements and intent of this ordinance and the comprehensive plan of the city.

§ 8.05. - City council action.

The city council may accept or reject the recommendation of the planning and zoning commission and in conjunction therewith may grant or deny the application for a specific use permit. Every specific use permit granted by the city council shall be considered an amendment to this ordinance, as applicable to such property. In granting such permit, the city council may impose conditions which must be complied with by the grantee thereof before a certificate of zoning compliance may be issued by the director of public works for the use of the buildings and structures on such property pursuant to said specific use permit. Such conditions shall not be construed as conditions precedent to the granting of the specific use permit, but shall be construed as conditions precedent to the granting of a certificate of zoning compliance. Following the passage of a specific use permit ordinance by the city council, the director of public works may issue a building permit for the pertinent property as provided in article X hereof, and shall insure that development of such property is undertaken and completed in accordance with such specific use and building permits.

Cross reference— City council, § 2-26 et seq.



MEMORIAL DRIVE

REPLACE EXISTING -
SIGN B

50'-0"

PICKLEBALL
COURT

REPLACE
EXISTING -
SIGN A

REPLACE
EXISTING - SIGN C

BLALOCK ROAD

MEMORIAL DRIVE

SITE PLAN

Scale 1:100



View of Existing Sign on San Felipe Blvd (Sign A)



View of Existing Sign on Curve on Memorial (Sign B)



View of Existing Sign on Blalock (Sign C)

MEMORIAL DRIVE PRESBYTERIAN CHURCH

11612 MEMORIAL DR., HOUSTON, TX 77024
EXTERIOR SIGN PACKAGE

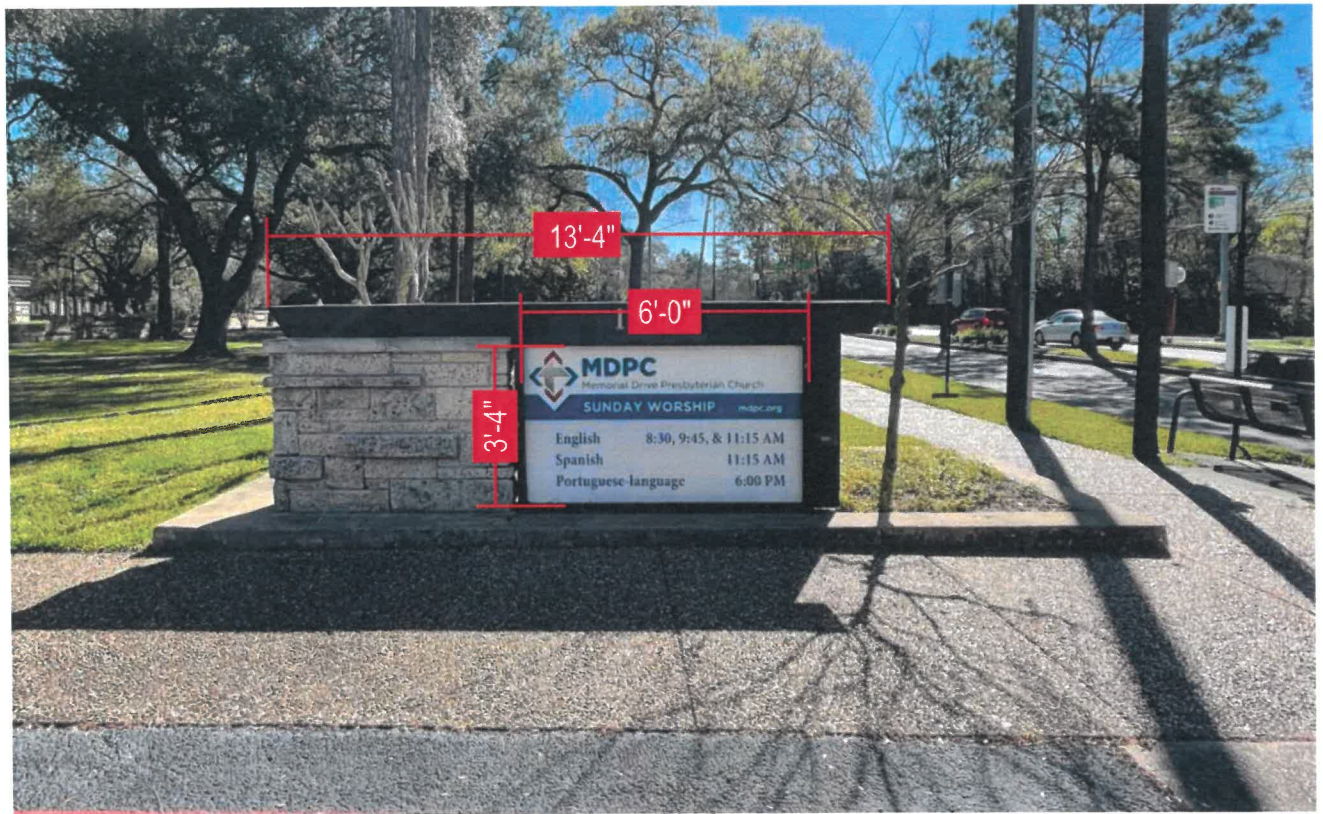


P:\-- NEW CLIENT FILES --\M\MEMORIAL DRIVE PRESBYTERIAN CHURCH

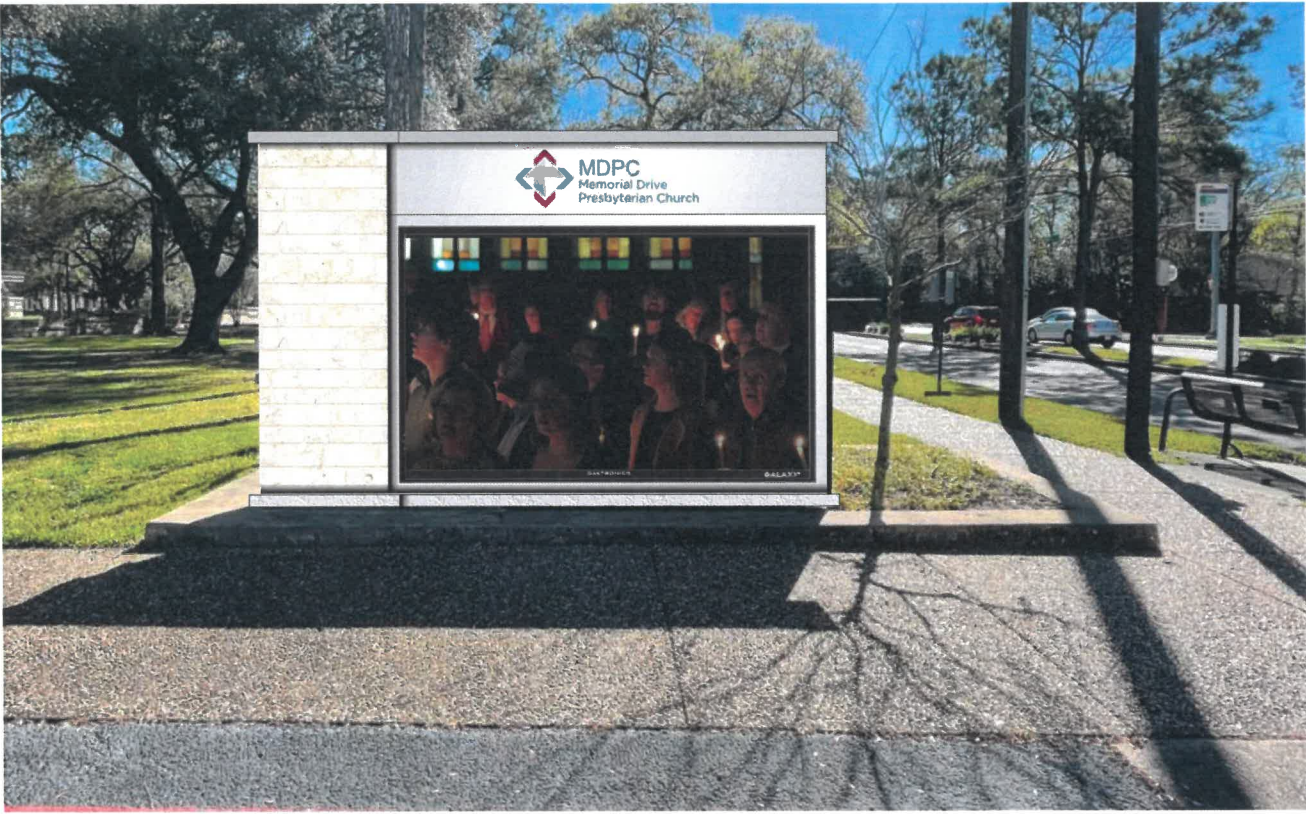


SIGN TYPE A QTY: 1

SCOPE OF WORK:
 • REMOVE & DISPOSE OF EXISTING MONUMENT SIGN & MASONRY
 • FABRICATE & INSTALL NEW D/F, ILLUMINATED MONUMENT w/ MASONRY



EXISTING CONDITIONS



UPDATED CONDITIONS

SIGN ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT:	MEMORIAL DRIVE PRESBYTERIAN CHURCH
LOCATION:	11612 MEMORIAL DR
CITY/STATE:	HOUSTON, TX 77024
DATE:	4.19.22
SALES / PM:	GLORIA BAKER
DESIGNER:	KEN PHU
DRAWING#:	6637

REVISIONS			
A	4.19.22	REVISE SCOPE & LAYOUT	KP
B	4.25.22	REVISE SCOPE & LAYOUT	KP
C	6.8.22	REVISE SCOPE & LAYOUT	KP
D	9.15.22	REVISE SCOPE & LAYOUT	KP
E	2.20.23	REVISE SCOPE & LAYOUT	KP

SIGNATURES	
CLIENT APPROVAL SIGNED: _____	DATE: _____
LANDLORD APPROVAL SIGNED: _____	DATE: _____
SALES APPROVAL SIGNED: _____	DATE: _____

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UL INSTALLATION REQUIREMENTS
 THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

120 VOLT ELECTRICAL SERVICE

	SIGN	LED DISPLAY
ELECTRICAL LOAD:	<input type="text"/>	<input type="text"/>
20 AMP CIRCUIT(S):	<input type="text"/>	<input type="text"/>

PROVIDE PRIMARY ELECTRICAL WITHIN 6' OF STREET END OF SIGN
 PROVIDE PRIMARY ELECTRICAL AT CENTER OF SIGN
 CLIENT TO PROVIDE ALL PRIMARY ELECTRICAL SERVICES TO THE SIGN UNLESS OTHERWISE SPECIFIED



SCOPE OF WORK:

- REMOVE & DISPOSE OF EXISTING MONUMENT SIGN & MASONRY
- FABRICATE & INSTALL NEW D/F, ILLUMINATED MONUMENT w/ MASONRY

MONUMENT:

- ALL ALUMINUM CONSTRUCTION PAINTED P1
- MAIN ID COPY: V1, V2 VINYL
- MONUMENT CAP: .125" ALUM. CLADDING OVER ALUM. SQ. TUBE, FINISHED P1
- MASONRY: ASHLAR LIMESTONE OVER DUROCK & ALUM. ANGLE FRAMING
- ADDRESS: V3 VINYL

LED DISPLAY

- 144 x 252, FULL COLOR (10mm PIXEL PITCH)
- CABINET SIZE: 5'-4" HIGH x 8'-8" WIDE
- VIEWING SIZE: 4'-10" HIGH x 8'-5" WIDE
- COMMUNICATIONS: CELLULAR MODEM

SUPPORT:

- CONCRETE PAD: MIN. 3" ABOVE & MIN 3" BELOW GRADE
- SUPPORT(S) PER ENGINEERING REQUIREMENTS

FINISH SCHEDULE

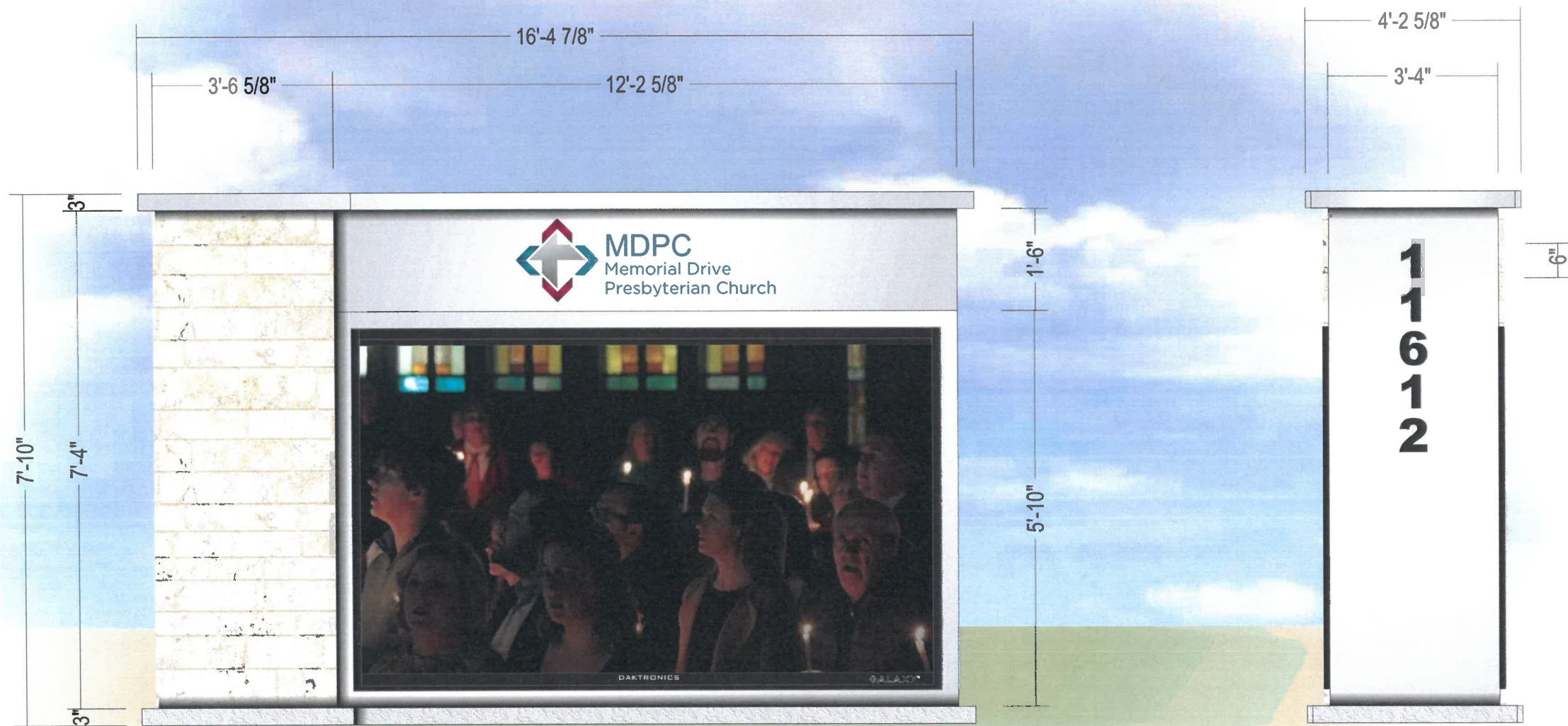
PAINT COLORS

P1: MP SILVER

VINYL COLORS

- V1: DIGITAL PRINT ON TRANSLUCENT
- V2: PANTONE TO BE DETERMINED
- V3: 3M OPAQUE BLACK

APPROVED BY: _____



SIGN LAYOUT

SCALE: 1/2" = 1'-0"

SIGN LAYOUT

SCALE: 1/2" = 1'-0"



National Signs
CREATING LANDMARKS TOGETHER.

2611 El Camino • Houston, TX 77054
T: 713.863.0600 • F: 713.863.7585
www.NationalSigns.com

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LOCATION:	11612 MEMORIAL DR
CITY/STATE:	HOUSTON, TX 77024
DATE:	4.19.22
SALES / PM:	GLORIA BAKER
DESIGNER:	KEN PHU
DRAWING#:	6637

REVISIONS

REV	DATE	DESCRIPTION	BY
A	4.19.22	REVISE SCOPE & LAYOUT	KP
B	4.25.22	REVISE SCOPE & LAYOUT	KP
C	6.8.22	REVISE SCOPE & LAYOUT	KP
D	9.15.22	REVISE SCOPE & LAYOUT	KP
E	2.20.23	REVISE SCOPE & LAYOUT	KP

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120 VOLT ELECTRICAL SERVICE

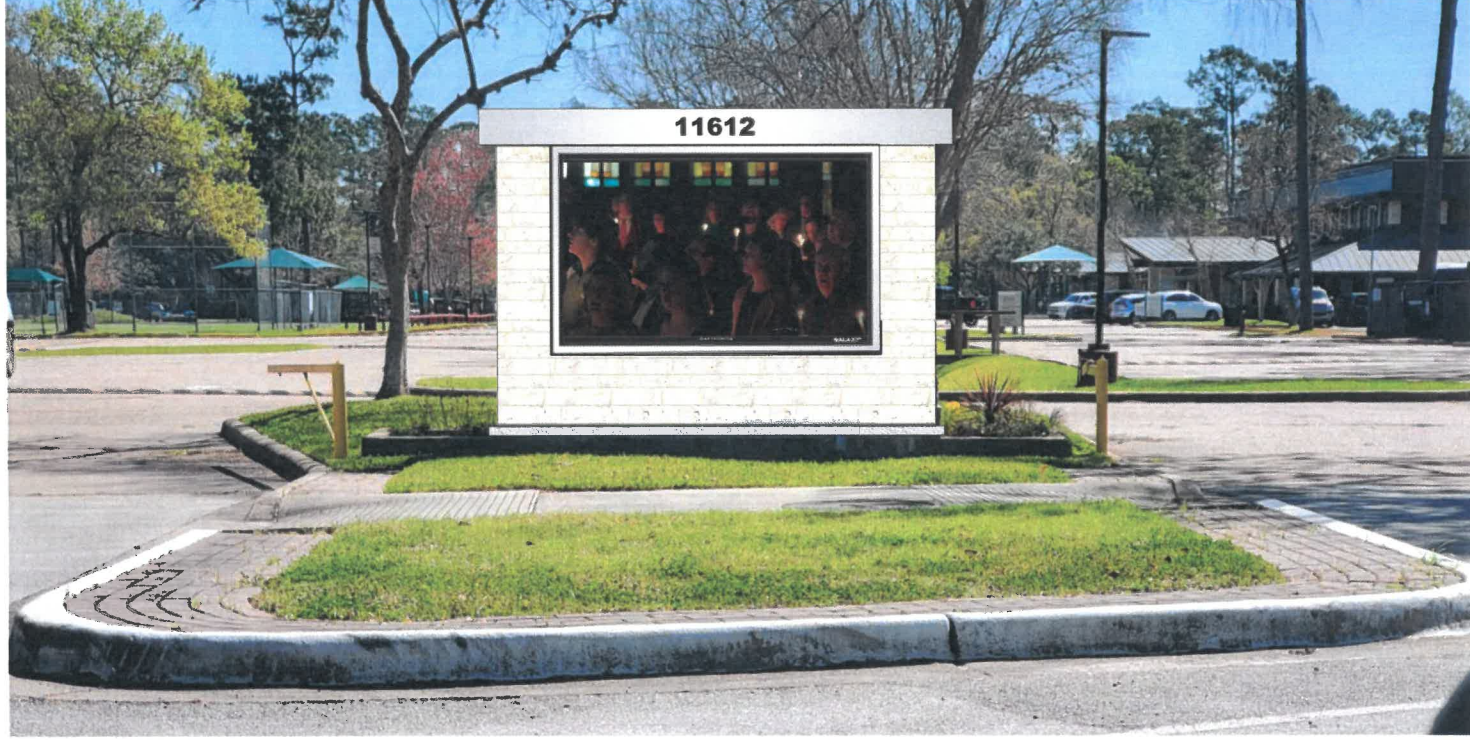
ELECTRICAL LOAD: SIGN _____ LED DISPLAY _____
20 AMP CIRCUIT(S): _____
PROVIDE PRIMARY ELECTRICAL WITHIN 6' OF STREET END OF SIGN
PROVIDE PRIMARY ELECTRICAL AT CENTER OF SIGN
CLIENT TO PROVIDE ALL PRIMARY ELECTRICAL SERVICES TO THE SIGN UNLESS OTHERWISE SPECIFIED



SCOPE OF WORK:
 • REMOVE & DISPOSE OF EXISTING MONUMENT SIGN
 • FABRICATE & INSTALL NEW D/F, ILLUMINATED MONUMENT,



EXISTING CONDITIONS



UPDATED CONDITIONS

SIGN ELEVATION

SCALE: 3/16" = 1'-0"

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120 VOLT ELECTRICAL SERVICE

ELECTRICAL LOAD: SIGN LED DISPLAY

20 AMP CIRCUIT(S):

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SCOPE OF WORK:

- REMOVE & DISPOSE OF EXISTING MONUMENT SIGN & MASONRY
- FABRICATE & INSTALL NEW D/F, ILLUMINATED MONUMENT w/ MASONRY

MONUMENT:

- ASHLAR LIMESTONE MASONRY OVER DUROCK & ALUM. ANGLE FRAMING
- MONUMENT CAP: .125" ALUM CLADDING OVER ALUM. ANGLE FRAMING
- ADDRESS: V1 VINYL

LED DISPLAY

- 144 x 252, FULL COLOR (10mm PIXEL PITCH)
- CABINET SIZE: 5'-4" HIGH x 8'-8" WIDE
- VIEWING SIZE: 4'-10" HIGH x 8'-5" WIDE
- COMMUNICATIONS: CELLULAR MODEM
- CABINET SURROUND: .125" ALUM; FINISHED P1

SUPPORT:

- CONCRETE PAD: MIN. 3" ABOVE & MIN 3" BELOW GRADE
- SUPPORT(S) PER ENGINEERING REQUIREMENTS

FINISH SCHEDULE

PAINT COLORS

P1: MP SILVER

VINYL COLORS

V1: 3M OPAQUE BLACK

APPROVED BY: _____



SIGN LAYOUT

SCALE: 1/2" = 1'-0"

SIGN LAYOUT

SCALE: 1/2" = 1'-0"



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SIGNED: _____	DATE: _____
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120 VOLT ELECTRICAL SERVICE

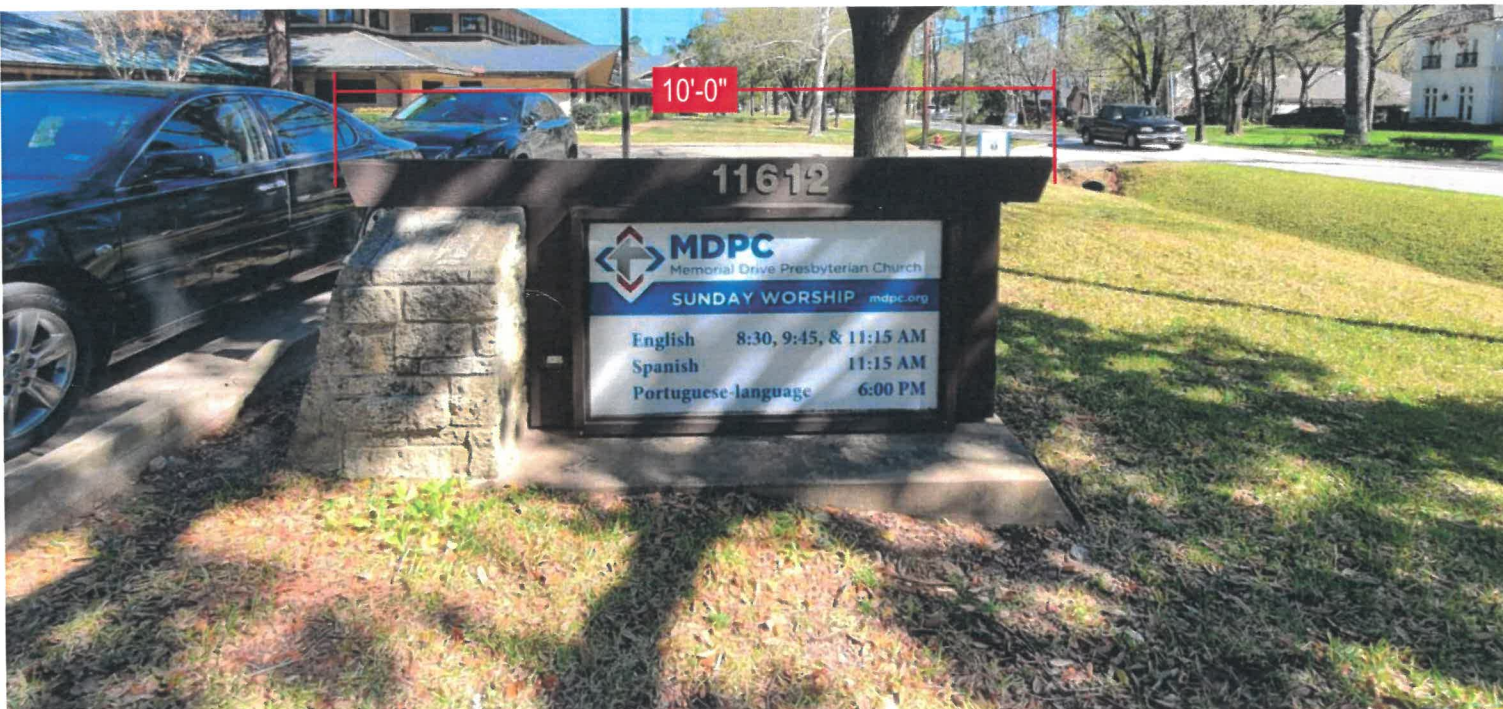
	SIGN	LED DISPLAY
ELECTRICAL LOAD:	<input type="text"/>	<input type="text"/>
20 AMP CIRCUIT(S):	<input type="text"/>	<input type="text"/>

PROVIDE PRIMARY ELECTRICAL WITHIN 6' OF STREET END OF SIGN
PROVIDE PRIMARY ELECTRICAL AT CENTER OF SIGN
CLIENT TO PROVIDE ALL PRIMARY ELECTRICAL SERVICES TO THE SIGN UNLESS OTHERWISE SPECIFIED



SIGN TYPE C QTY: 1

SCOPE OF WORK:
 • REMOVE & DISPOSE OF EXISTING MONUMENT SIGN
 • FABRICATE & INSTALL NEW D/F, ILLUMINATED MONUMENT,



EXISTING CONDITIONS



UPDATED CONDITIONS

SIGN ELEVATION

SCALE: 3/8" = 1'-0"

PROJECT:	MEMORIAL DRIVE PRESBYTERIAN CHURCH
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ELECTRICAL LOAD:	SIGN	LED DISPLAY
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- FABRICATE & INSTALL NEW D/F, ILLUMINATED MONUMENT w/ MASONRY

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- ALL ALUMINUM CONSTRUCTION PAINTED P1
- MONUMENT CAP: .125" ALUM. CLADDING OVER ALUM. SQ. TUBE, FINISHED P1
- MASONRY: ASHLAR LIMESTONE OVER DUROCK & ALUM. ANGLE FRAMING
- ADDRESS: V1 VINYL

LED DISPLAY:

- 108 x 180, FULL COLOR (10mm PIXEL PITCH)
- CABINET SIZE: 4'-2" HIGH x 6'-3" WIDE
- VIEWING SIZE: 3'-8" HIGH x 6'-3" WIDE
- COMMUNICATIONS: CELLULAR MODEM

SUPPORT:

- CONCRETE PAD: MIN. 3" ABOVE & MIN 3" BELOW GRADE
- SUPPORT(S) PER ENGINEERING REQUIREMENTS

FINISH SCHEDULE

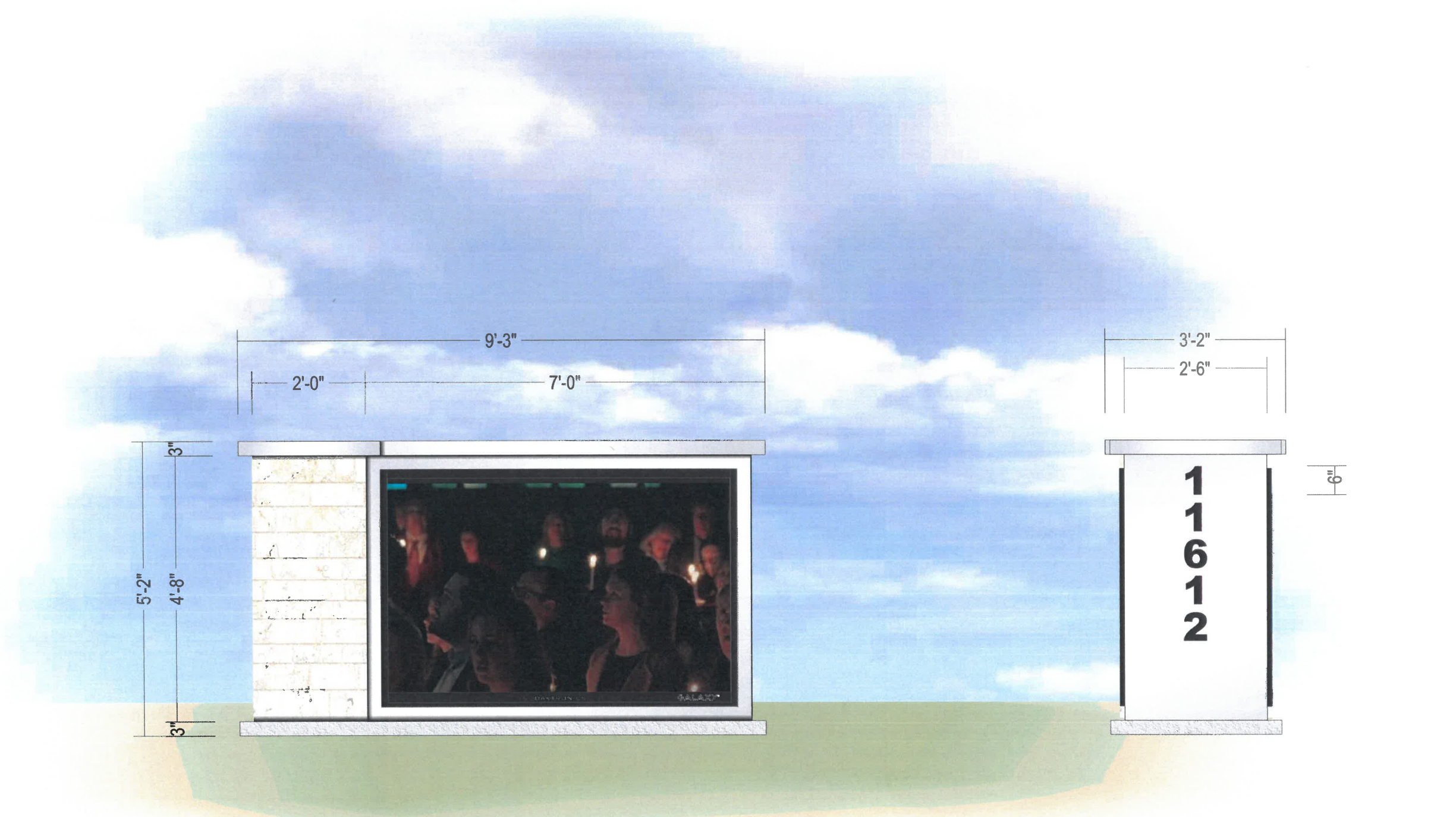
PAINT COLORS

P1: MP SILVER

VINYL COLORS

V1: 3M OPAQUE BLACK

APPROVED BY: _____



SIGN LAYOUT

SCALE: 1/2" = 1'-0"

SIGN LAYOUT

SCALE: 1/2" = 1'-0"

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LOCATION: 11612 MEMORIAL DR

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DESIGNER: KEN PHU

DRAWING#: 6637

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SIGNED: _____	DATE: _____

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120 VOLT ELECTRICAL SERVICE

SIGN	LED DISPLAY
ELECTRICAL LOAD: _____	_____
20 AMP CIRCUIT(S): _____	_____

PROVIDE PRIMARY ELECTRICAL WITHIN 6' OF STREET END OF SIGN
PROVIDE PRIMARY ELECTRICAL AT CENTER OF SIGN
CLIENT TO PROVIDE ALL PRIMARY ELECTRICAL SERVICES TO THE SIGN UNLESS OTHERWISE SPECIFIED





