



# DRIVEWAY - SIDEWALK- PATIO- DECKS-EQUIPMENT FOUNDATIONS



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- **Permits Required** Permits are required for ALL NEW permeable and non-permeable areas.
- **In Kind/Same Kind** If you want to replace an existing driveway or sidewalk and you will NOT be expanding the area, you can submit the project as an "In Kind/Same Kind" in the project description. In Kind/Same Kind shall mean a reconstruction of accessory or driveway structure whereby the new project consists of the same land use, location, and size or less as previously in place, such as the reconstruction of a garage or swimming pool or driveway. This provision is designed to allow home owners to maintain their existing structures, even if they do not meet current setbacks or lot coverage limitations. This provision is not available for New Home, Reconstruction or Addition projects. Please provide a drawing of the driveway or sidewalk as it is before the proposed work.
- **Lot Coverage** Maximum Allowable Lot Coverage by Non-permeable Surfaces is 45.0%. This is for the total lot area. City Rights-of-way are not part of the lot and therefore not included in this number. The total allowable lot coverage including permeable surfaces is 55%. This includes water surfaces as well. If you are building on a private street, please include the portions of the street which are located on your lot. Please use the Excel Lot Calculations sheet provided on the website to determine your lot coverage information.
- **Plan Size** NO DOCUMENTS OR PLANS LARGER THAN 11" X 17" MAY BE SUBMITTED. Only ONE set of documents or plans is required. Scale is not required to be maintained but dimensions must be clearly labeled on the plans. No staples or torn pages.
- **Specifications** Any concrete which is not part of an engineered structure foundation shall meet the following:
  - Minimum of 4" thickness
  - Must use either:
    - #3 bar spaced no farther apart than 14"
    - #4 bar spaced no farther apart than 18"



- **Permeable Surfaces** Any materials used as a driveway or walking path will be considered Non Permeable unless they meet the criteria shown on the Permeable Pavers specifications page. Please note the lot coverage limitations shown above apply to Permeable surfaces as well.
- **Insurance** All contractors requiring permits shall file with the city, and maintain for the entire period during which work pursuant to such permit is being performed, commercial general liability insurance in an amount of not less than five hundred thousand dollars (\$500,000.00). Homeowners who will be constructing the driveway themselves and not using a contractor will not be required to provide proof of insurance.
- **Working Hours** Construction and deliveries may be between the hours of 7:00 a.m. and 6:00 p.m. on weekdays that are not Recognized Holidays, and between the hours of 8:00 a.m. and 5:00 p.m. on Saturdays that are not Recognized Holidays, except in cases of extreme and urgent necessity in the interest of public safety with the approval of the Building Official. No construction shall be done on Sundays Recognized Holidays shall include New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Eve and Christmas Day.
- **Site Plan** Each site plan must clearly depict the following, as applicable:
  - (a) Basic survey;
  - (b) Forms survey (after it becomes available);
  - (c) Drainage and topographic survey;
  - (d) Standard base elevation survey;
  - (e) Easements and plat restrictions;
  - (f) Buildings and other major structures;
  - (g) Open areas, impervious areas, landscaping and areas for required trees and pervious areas;
  - (h) Yards or "setbacks"; buildable area;
  - (i) Fences;
  - (j) Mechanical equipment;
  - (k) Garage openings, pavement, parking areas, driveways, emergency access ways, fire zones, sidewalks, loading areas, curb cuts, waste storage areas and special screens;
  - (l) Drainage facilities in accordance with ARTICLE V. - FLOOD DAMAGE PREVENTION of this Chapter; or
  - (m) Other features and facilities required to comply with applicable regulations .



- **No Street Parking** For any address for which an active building or maintenance permit has been issued, all vehicles shall be required to be parked on the lot for which the permit has been issued. For private streets, parking may not be in the access easement. Vehicles parked temporarily for a period of 30 minutes or less are not required to meet this requirement. Blocking of a street so that less than 15 feet of width for access is not allowed under any circumstance.

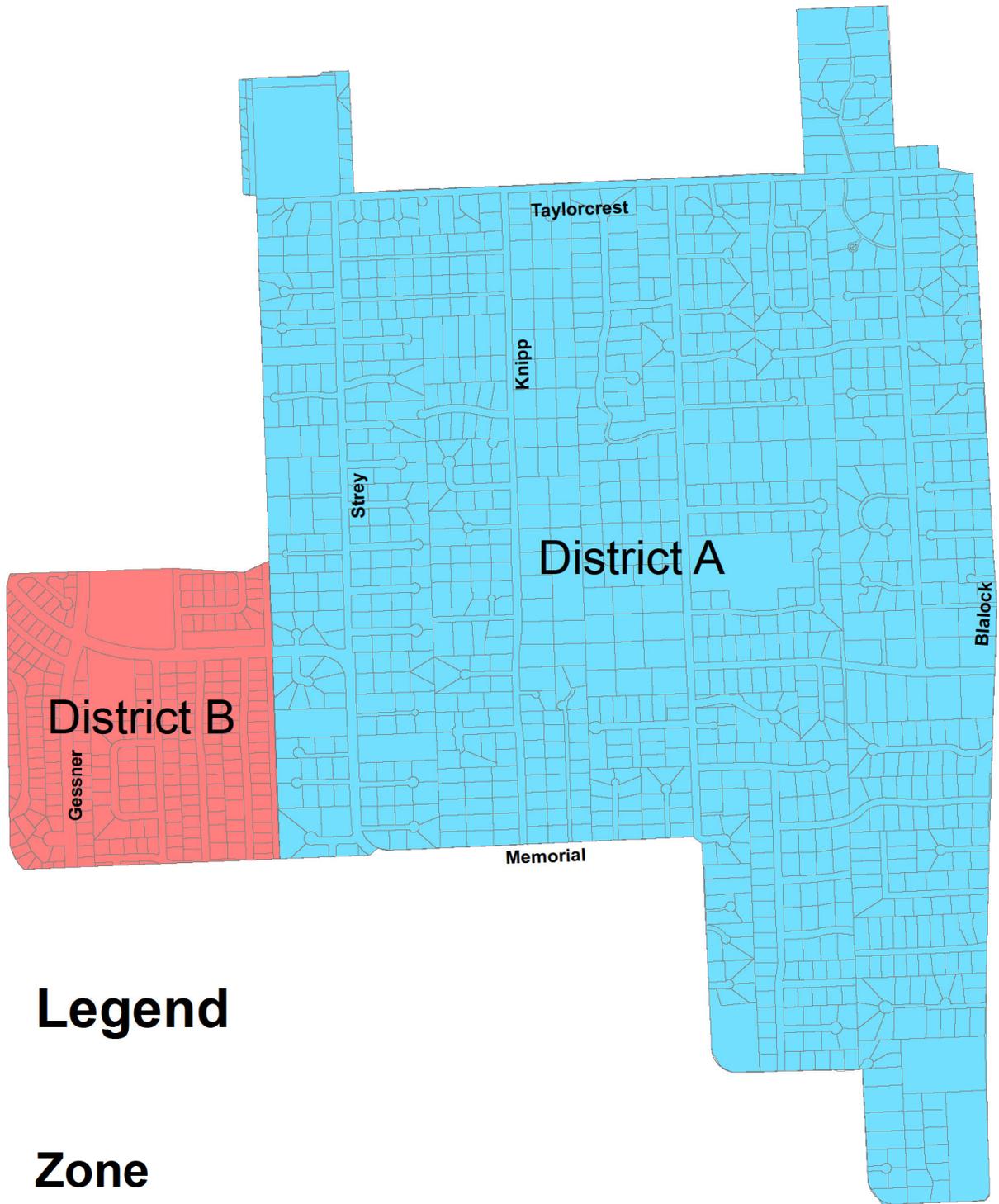
- **Generator Foundation Considerations**

Standby and emergency generators shall be installed in accordance with the National Electrical Code, 2011 and the following restrictions:

- a. All wiring shall meet all requirements outlined in this code.
- b. Maximum sound level at anytime shall be 70db or less measured at the property line.
- c. Generator shall be positioned so that no structure, roof or overhang is over any portion of the generator enclosure.
- d. Minimum clearance between generator foundation and other structures shall be 24 inches or greater as determined by manufacturers' specifications. At no time shall the clearance be less than 24 inches.
- e. No portion of the generator or wiring may be located in an easement or Right of Way.
- f. Generator may not be located in any restricted area or required green space.
- g. Generator may not be located within the required front yard of a lot.
- h. A generator cannot be visible from a public or private street.



# City of Bunker Hill Village Zoning Map



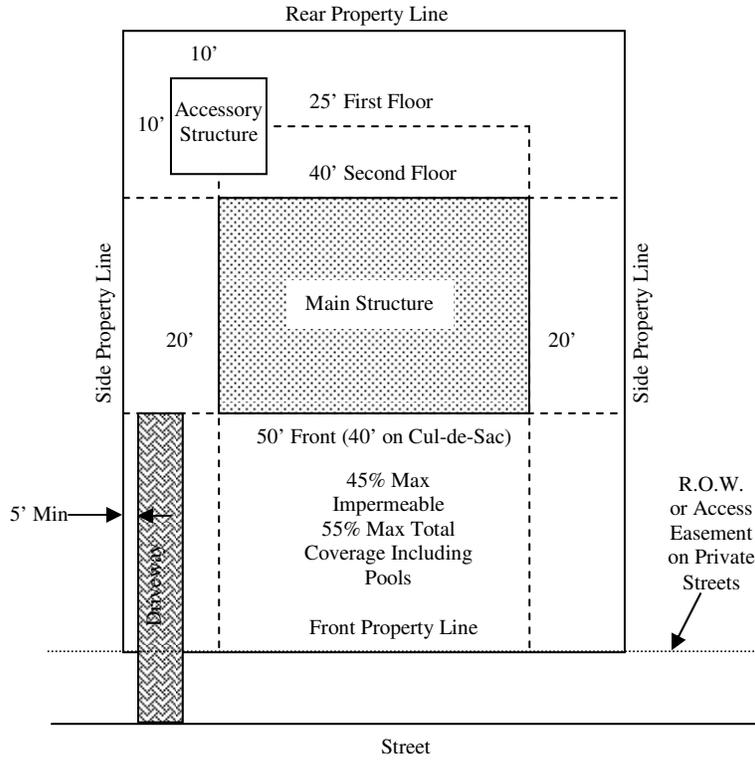
## Legend

### Zone

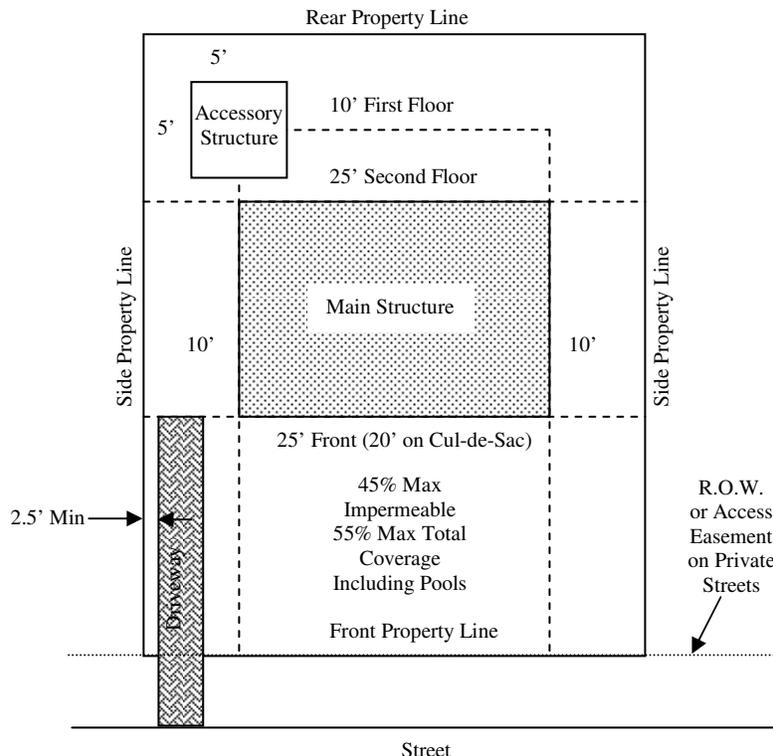
-  District A
-  District B



# District A



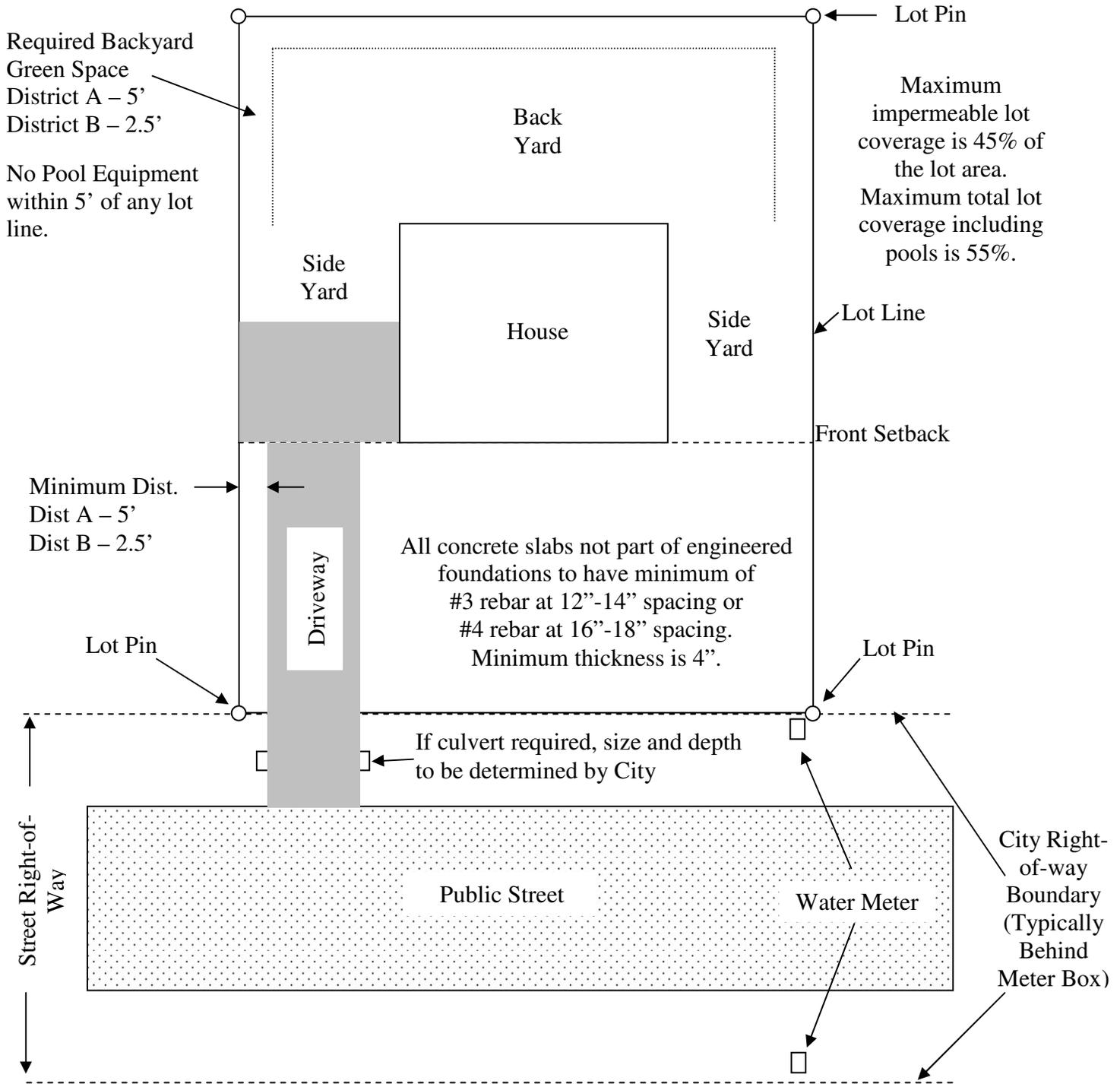
# District B



Street



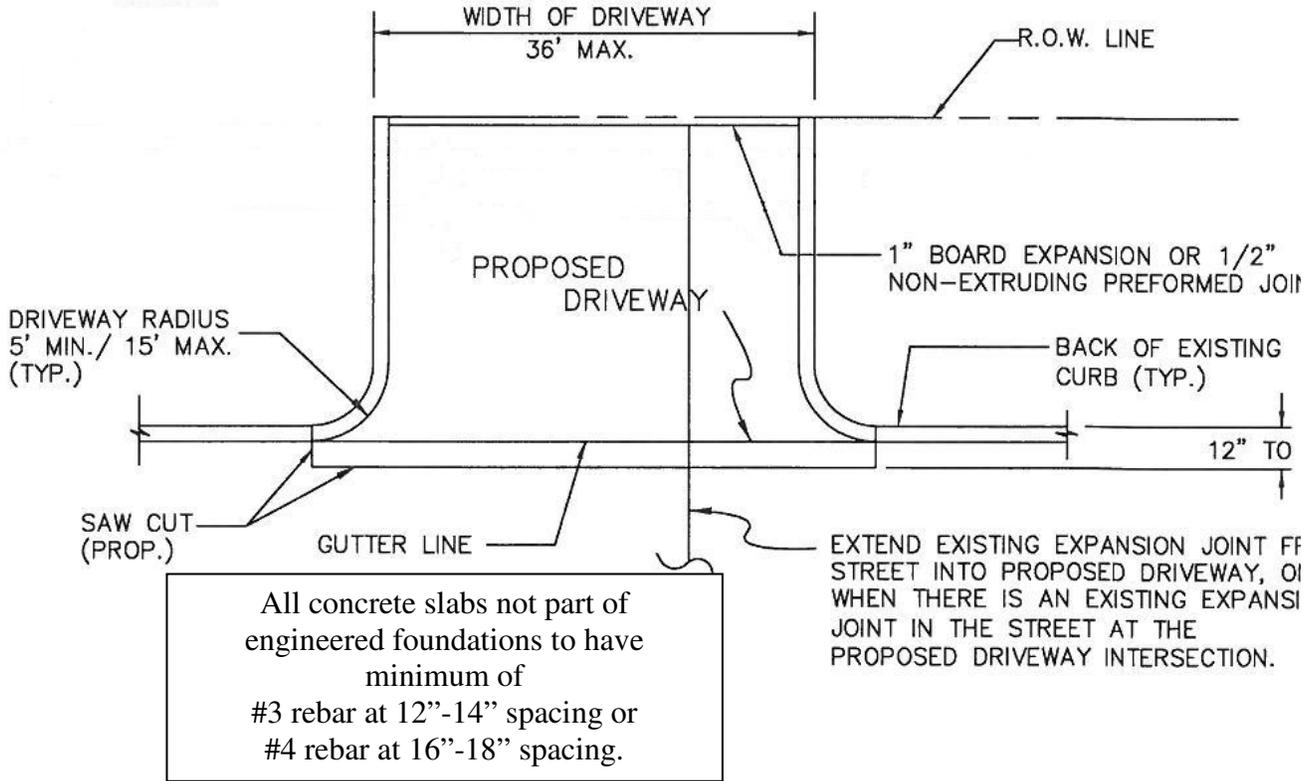
# Driveway, Sidewalk, Pool Decking and Patio Requirements



Permeable pavers must be manufactured and designated as a permeable material. Installation must comply with manufacturer's recommendations for permeable installations. Final inspection of a permeable system will include a test to confirm that all water is transferred to the soil below the paver system.

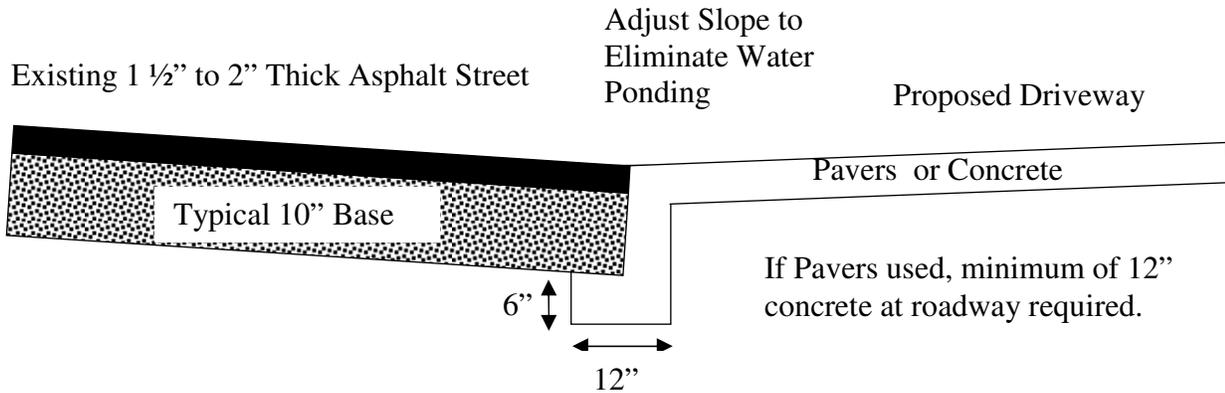


**USE FOR ALL PROPOSED CURB REMOVAL FOR DRIVEWAYS**



**NO CUTTING OF PUBLIC STREET ALLOWED WITHOUT PRIOR APPROVAL**

**USE FOR ALL DRIVEWAY CONNECTIONS TO ASPHALT STREETS**



Concrete support required 6" below asphalt road base and 6" into the street.

**NO CUTTING ALLOWED ON ASPHALT STREETS WITHOUT PRIOR APPROVAL.**



### PERMEABLE PAVER SYSTEMS



PERMEABLE PAVERS MIN. 3 1/8" (80mm) THICK



BEDDING COURSE 1 1/2" TO 2" (40 TO 50 mm) THICK  
(TYP. ASTM NO. 8 OR NO. 9 AGGREGATE)

MIN. 4" (100mm) THICK ASTM NO. 57 STONE  
OPEN – GRADED BASE

MIN. 6" (150mm) THICK ASTM NO. 2 STONE  
SUBBASE

GEO FABRIC

NATURAL SOIL UNCOMPACTED

Permeable pavers and other permeable surfaces are allowed as hardscapes but still count towards the maximum total lot coverage.

Any system which requires compacting or results in the subsoil becoming compacted will not be approved. Gravel and other aggregates spread on the ground surface will result in soil compaction over time and therefore do not qualify as permeable materials.

Pavers must be engineered as a permeable product and installed as to allow all of the underlying soil to absorb water at the same rate as surrounding native soil. Flagstone and other large coverage materials do not meet this requirement.

Permeable pavement areas must meet the same setbacks and location restrictions as non-permeable surfaces.

Please see driveway design standards for required roadway connection requirements.

Permeable concrete may be used in the same configuration as a paver, but similar bedding, base and sub-base materials will be required to allow adequate soil absorption.

Sand materials are not allowed in any stage of a permeable system.

The drawing shown represents minimum design specifications. Please see your specific manufacturer for additional requirements.



## Driveway - Sidewalk - Patio - Deck Required Documentation

*One set of the following items, no pages larger than 11" X 17", no staples please.*

- This list with items checked if provided.

*These forms are available as a fill in Excel Spreadsheet. You are strongly urged to use these as some results will be calculated for you.*

- Contractor Information Form
- Building Permit Application
- Detention Volume and Coverage Worksheet (Not Required if "In Kind/Same Kind")
- Tree Inventory and Removal Form (Not Required if "In Kind/Same Kind")
- Drainage plan signed and sealed by a Civil Engineer (Not Required if "In Kind/Same Kind")
- Property Survey - 11" X 17"
- Site Plan as detailed in this package



## **WORKING HOURS**

**MONDAY – FRIDAY  
7:00 A.M. TO 6:00 P.M.**

**SATURDAY  
8:00 A.M. TO 5:00 P.M.**

**SUNDAY  
HOLIDAY (NO WORK ALLOWED)**



## **LAS HORAS DE TRABAJO**

**LUNES – VIERNES**

**7:00 A.M. HASTA LAS 6:00 P.M.**

**SABADO**

**8:00 A.M. HASTA LAS 5:00 P.M.**

**DOMINGO**

**DIA DE DESCANSO (NO SE PERMITE  
TRABAJAR)**