

Home Remodel Projects

Updated August 2026



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Important Design Considerations

A remodel permit is required if you plan to do ANY of the following:

- Remove walls
- Construct new walls
- Remove sheet rock or wallboard or open any wall or ceiling cavity.

(This includes kitchen backsplash and bath/ shower surrounds)

A remodel project does not allow for the creation of new space in your home. These types of projects would be classified as an “Addition” and different requirements apply. Please see the criteria for Additions if this is the case. If you have a combination project of remodeling and addition, always use the highest-ranking project to determine which criteria to use. The project hierarchy is:

1. **New Home Construction**
2. **Reconstructions**
3. **Additions**
4. **Remodels**

Additional permits will be required for the individual trade contractors (electrical, plumbing, HVAC). The extent of your project could require you to meet the same requirements as a new home for the entire structure, including the installation of a fire sprinkler system, site drainage system and resolution of any violations of required setbacks. Please see the Remodel Work Sheet to determine which criteria to use. A project which exceeds the 50% limits determined in the Remodel Worksheet is referred to as a **Reconstruction**.

[Click here to download and view the permit forms including the Remodel Worksheet](#)

- **Pre-Development Meeting** Pre-Development Meetings are required for new homes, additions, more than 50% remodels and any project in which a change in lot coverage occurs. Pre-Development Meetings are NOT required for less than 50% remodel projects but it is strongly recommended that you schedule a meeting anyways. All contractors are expected to know the development requirements of the city and a misunderstanding of how to calculate remodel projects could be very costly. Remodel projects of 50% or more of the structure require the entire structure to meet current new home building requirements including foundation minimum requirements.
- **Affidavit Required:** A building permit shall not be issued for new construction, any addition that expands the existing building footprint, or any remodel or alteration that meets the stated impact criteria unless the applicant submits an affidavit certifying that notice of the permit application has been provided to all property owners within two hundred (200) feet of the subject property. Notification is required for projects that may create measurable off-site impacts, including footprint expansions, use of dumpsters or similar waste containers, the presence of three (3) or more trades, construction activity exceeding thirty (30) working days, or temporary obstruction of the public right-of-way or normal traffic flow. If the property is located within a subdivision governed by an active committee or association, notice must also be provided to an authorized representative of that entity; however, such notice does not replace the requirement to notify individual property owners within the

200-foot radius. Minor maintenance and cosmetic work that does not otherwise meet the impact criteria is exempt from notification, including painting, wallpapering, tiling, carpeting, cabinetry or countertop replacement, non-fire-rated drywall repair, like-material exterior trim repair, and partial roof patching. The applicant must certify by affidavit whether the proposed work is subject to the notification requirement or qualifies for an exemption.

[Schedule a Pre-Development Meeting here](#)

- **Reconstruction** shall mean the repair, modification, alteration, or reconstruction of fifty (50) percent or more of the living area of an existing structure within its existing footprint for which a building permit is required. This includes any combination of structural changes to ANY physical framework (i.e. studs, beams, non-loadbearing/loadbearing walls, trusses, floor joist, etc.) of a building or structure. When structural changes affect two adjoining rooms, only the square footage of the smaller room shall be included in the calculation. All remodeling, modifications, or structural work performed on the structure within any consecutive twenty-four (24) month period shall be cumulative.
- **Plan Size** NO DOCUMENTS OR PLANS LARGER THAN 11" X 17" MAY BE SUBMITTED. Only **ONE** set of documents or plans is required. Scale is not required to be maintained but dimensions must be clearly labeled on the plans. No staples or torn pages.
- **Insurance** All contractors requiring permits shall file with the city, and maintain for the entire period during which work pursuant to such permit is being performed, commercial general liability insurance in an amount of not less than five hundred thousand dollars (\$500,000.00).
- **Working Hours** Construction and deliveries may be between the hours of 7:00 a.m. and 6:00 p.m. on weekdays that are not Recognized Holidays, and between the hours of 8:00 a.m. and 5:00 p.m. on Saturdays that are not Recognized Holidays, except in cases of extreme and urgent necessity in the interest of public safety with the approval of the Building Official. No construction shall be done on Sundays. Recognized Holidays shall include New Year's Day, Presidents' Day, Good Friday, Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Eve and Christmas Day.
- **No Overhead Service** If you plant to replace the electrical load center (breaker panel), all utility service lines for electricity, telephone, gas, cable television any other such service for individual lots shall be underground unless federal or state law or regulations require otherwise.
- **No Street Parking** For any address for which an active building or maintenance permit has been issued, all vehicles shall be required to be parked on the lot for which the permit has been issued. For private streets, parking may not be in the access easement. Vehicles parked temporarily for a period of 30 minutes or less are not required to meet this requirement. Blocking of a street so that less than 15 feet of width for access is not allowed under any circumstance.
- **Layout Plan- Remodel and Reconstruction Plan Requirements**
All remodel and reconstruction projects must include complete plan sets clearly identifying both **existing conditions** and **proposed construction**.
Existing Conditions: Plans must accurately show the current layout of the structure, including the location of existing walls, rooms, doors, windows, plumbing fixtures, equipment, and other applicable building components.

Proposed Conditions: Plans must clearly identify all proposed work, including new construction, additions, relocations, alterations, and modifications to existing building components.

Demolition/Removal: Items to be removed or demolished must be clearly identified and distinguishable from items that will remain.

The existing and proposed plan sets must provide sufficient detail for City staff to easily determine **what currently exists, what is being removed, what is being relocated, and what is being added or modified.**

Plans that do not clearly distinguish between existing and proposed conditions may be considered incomplete and may require revision before plan review can proceed.

Building Codes

- 2024 International Building Code
- 2024 International Mechanical Code
- 2024 International Plumbing Code
- 2024 International Fuel Gas Code
- 2024 International Energy Conservation Code
- 2024 International Swimming Pool and Spa Code
- 2024 International Residential Code
- 2021 International Fire Code
- 2023 National Electrical Code

AND the following modifications and additions:

- (1) Section 307.2.3 is hereby amended to read as follows:

307.2.3 Auxiliary and Secondary Drain Systems. In addition to the requirements of Section 307.2.1 where damage to any building components could occur because of overflow from the equipment primary condensate removal system, both of the following auxiliary protection methods shall be provided for each cooling coil or fuel-fired appliance that produces condensate:

1. An auxiliary drain pan with a separate drain shall be provided under the appliance on which condensation will occur. The auxiliary pan drain shall discharge to a conspicuous point of disposal to alert occupants in the event of a stoppage of the primary drain. The pan shall have a minimum depth of 1 ½ inches (38 mm), shall not be less than 3 inches (76 mm) larger than the unit or the coil dimensions in width and length and shall be constructed of corrosion-resistant material. Galvanized sheet steel pans shall have a minimum thickness of not less than 0.0236 inch (0.6010 mm) (No. 24 gage). Nonmetallic pans shall have a minimum thickness of not less than 0.0625 inch (1.6 mm). Any appliance supports placed in the auxiliary drain pan must be of a noncombustible and non deteriorating material.
2. A water-level detection device conforming to UL508 shall be provided that will shut off the equipment served prior to overflow of the pan.

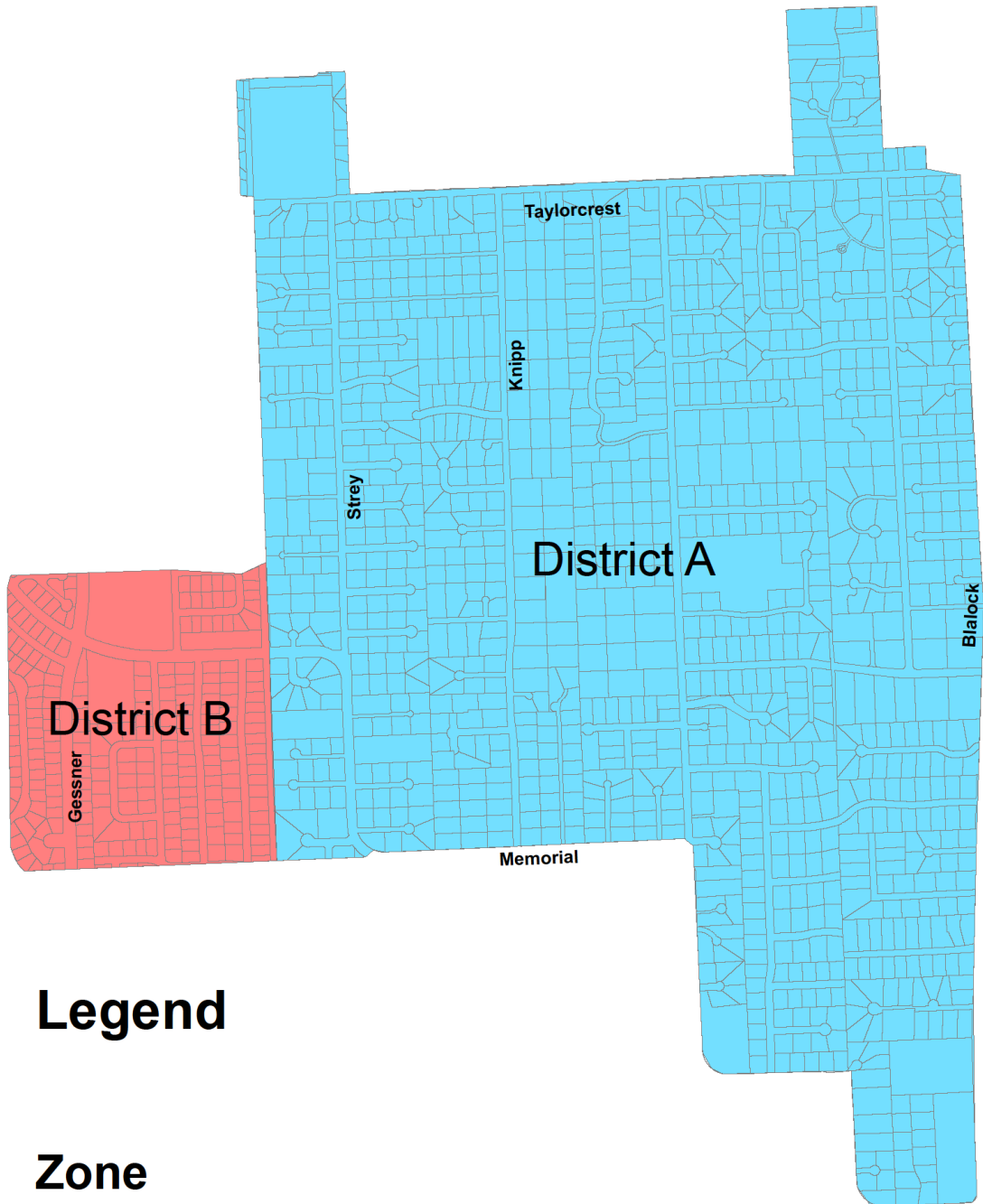
The National Electrical Code, 2023 Edition, including all appendices, as published by the National Fire Protection Association, Inc., save and except the administrative provisions contained in Annex “H” thereof, and the 2018 International Code Council Electrical Code, as published by the International Code Council, authentic copies of which has been filed with the city secretary, are hereby adopted and made a part of this Code of Ordinances with the following amendments:

- (1) Minimum wire size for lighting and branch circuits is 12 gauge in areas of new construction. Number 14 gauge wire is not allowed for any purposes in areas of new construction.
- (2) All wiring beyond the electrical service meter must be copper. No aluminum wiring allowed beyond the electric meter.
- (3) All circuits, except those dedicated for specific appliances or required to be protected by GFCI, must be protected with combination breakers for arc and ground fault protection. A testing device shall be provided by the electrician

at the final electrical inspection to test the arc and ground fault breakers at the receptacles.

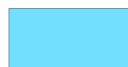
- (4) Hallways and stair landings of at least 3 feet (914 mm) or more in length as measured horizontally along the wall shall have at least one receptacle outlet. The hall length shall be considered the length measured along the centerline of the hall without passing through a doorway. Additional receptacles are required for each additional length of 12 feet (3658 mm).
 - (5) Receptacle requirements for kitchen islands – Any kitchen island with a work surface area, inclusive of sinks and appliances, of twelve (12) square feet or more must have a minimum of 4 individual receptacles generally distributed around the island.
 - (6) Standby and emergency generators shall be installed in accordance with the National Electrical Code, 2023 and the following restrictions:
 - a. All wiring shall meet all requirements outlined in this code.
 - b. Maximum sound level at anytime shall be 70db or less measured at the property line.
 - c. Generator shall be positioned so that no structure, roof or overhang is over any portion of the generator enclosure.
 - d. Minimum clearance between generator foundation and other structures shall be 18 inches or greater as determined by manufacturers' specifications. At no time shall the clearance be less than 18 inches.
 - e. No portion of the generator or wiring may be located in an easement or Right-of- Way.
 - f. Generator may not be located within the required front yard of a lot.
 - g. Generator cannot be visible from a public or private street.
 - h. A load analysis, generator specifications and one-line electrical diagram must be posted with the permit on the project site.
- (3) 680.23 *Underwater Luminaires*. All underwater luminaires shall be low voltage L.E.D.
- (4) Wireless smoke detectors are acceptable without a signal communication wire if they meet all of the following:
- a. All detection devices must be of the same type and brand.
 - b. All detection devices must communicate interlocally.
 - c. All detection devices must sound simultaneously with an indication as to what area has triggered the alarm.

City of Bunker Hill Village Zoning Map



Legend

Zone

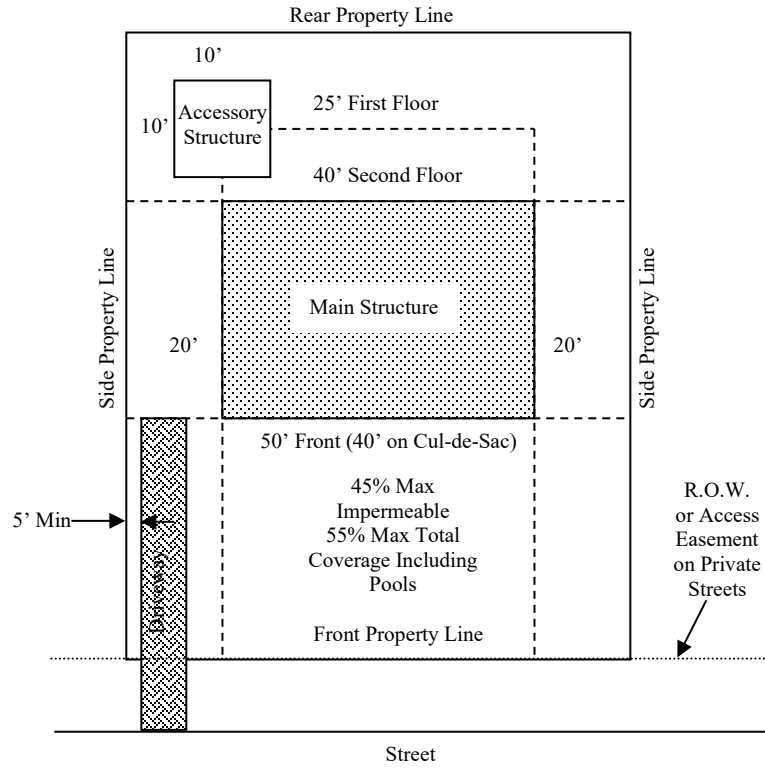


District A

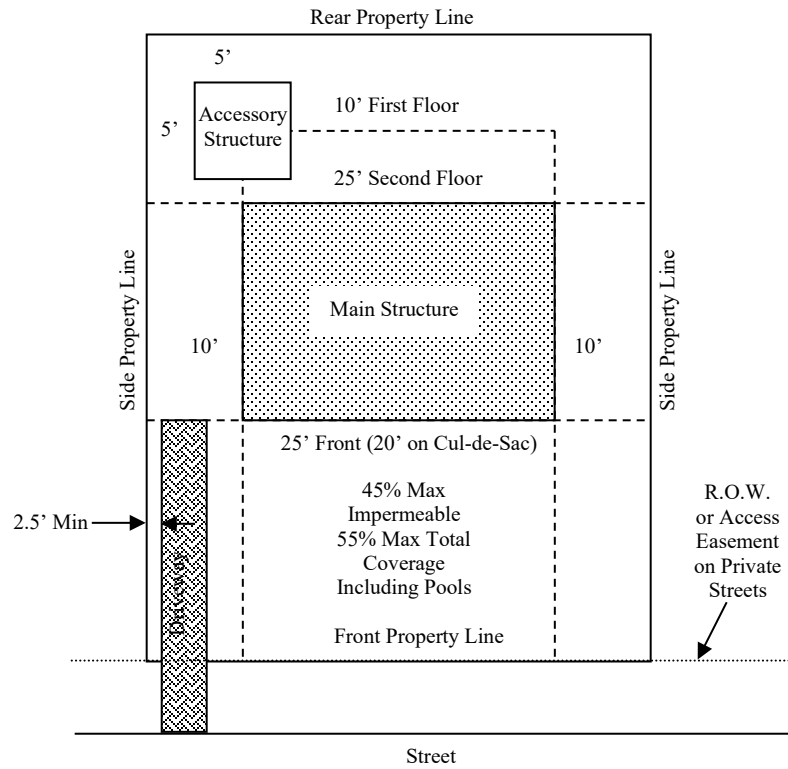


District B

District A



District B



Required Documentation

One set of the following items, no pages larger than 11" X 17", no staples

These forms are available as a fill in Excel Spreadsheet. You are strongly encouraged to use the Spreadsheet as some results will be automatically calculated. [Download and view permit forms here.](#)

- ☐ Contractor Information Form
- ☐ Building Permit Application
- ☐ Remodel Worksheet
- ☐ Floor Plan showing the areas of the remodel highlighted

Affidavit of Notification to Property Owners

Permit Applicant: _____

Address: _____

Lot: _____ Block _____ Subdivision: _____

Proposed Work: _____

This affidavit is required for all new construction and room additions in which the footprint of the building is changed. The following language is from the City of Bunker Hill Village Ordinance No. 26-670.

(a) Affidavit Required. General Notice Requirements No building permit shall be issued for (1) the construction of a new building, (2) any addition to an existing building that expands the building footprint, or (3) any remodel or alteration that meets one or more of the "Impact Triggers" defined in **Section B**, unless the permit applicant submits an affidavit certifying that notice of the permit application has been delivered to the owners of all properties located within **two hundred (200) feet of the subject property line**.

(B) Impact Triggers for Notification Notice to adjacent property owners within the 200-foot radius shall be required for any project reasonably expected to generate any one of the following measurable off-site impacts, including but not limited to: Any addition to an existing building that expands the building footprint. The use of dumpsters or similar waste containers for any timeframe. The presence of three (3) or more trades. Construction activity that exceeds 30 working days. The temporary obstruction of the public right-of-way or interference with the normal flow of traffic due to construction-related activity **(C) Notification to Associations** If the subject property is located within a subdivision governed by a duly organized and operational committee or association, notice shall also be provided to an authorized agent or officer of such committee; however, this shall not substitute for the required notice to individual property owners within the 200-foot radius. **(D) Exclusions for Minor Maintenance and Cosmetic Work** Notification is not required for minor repairs and cosmetic maintenance that do not otherwise trigger the impacts listed in **Section B**. These exclusions include but are not limited to interior Finish Work: Painting, wallpapering, tiling, carpeting, cabinetry, or countertop replacement. Minor Structural Repair: Repairs to gypsum board (drywall) not part of a fire-rated assembly. Exterior Maintenance: Repair of exterior wood fascia, trim, and soffits using like-materials. Roofing: Patching or repairing partial roof coverings. **(E) Affidavit of Compliance** The applicant shall certify the nature of the project by affidavit. If the application does not constitute a new building, a footprint expansion, or meet any of the Impact Triggers in Section B, the applicant shall certify such fact to exempt the project from the notification requirement. The city administrator is authorized to promulgate affidavit forms for use in the implementation of this section.

(b) Form of Notice; Method of Delivery. Any notice required in paragraph (a) above shall include a general description of the proposed construction, the name of the subdivision, and the Lot and block number and street address of the Lot subject to the permit. Such notice, as outlined below, shall be delivered by depositing the same, properly addressed and postage prepaid, in the United States mail, registered or certified, return receipt requested.

(c) Waiting Period; Stop Work Orders. The building official shall not issue a building permit for construction on a Lot subject to a Recorded Restriction until the expiration of five (5) business days following the receipt of an executed affidavit that fully complies with paragraph (a) above.

(Permit Applicant)

I, _____ certify that I have complied with the City of Bunker Hill Village requirements as outlined above and understand that a building permit will not be issued until after five (5) business days from the date of submission of this affidavit.

Signature

Date

Notary

Date

Attachment: List of all addresses notified and the date the notification was delivered to the address. The date is the date delivered not the date mailed.

General Contractor Responsibilities

The general contractor **SHALL PROVIDE A SINGLE PROTECTED AREA FOR ALL PERMITS AND INSPECTION RECORDS** issued for that site.

SANITARY WASTE: All sanitary waste shall be collected in an enclosed portable waste collection unit (portable toilets) approved by the City of Bunker Hill Village. All portable toilets shall be screened from view from any adjacent private property or any public or private roadway with privacy fencing or other decorative screening materials, of a height of not less than the height of the portable toilet. Each portable toilet shall be served at least one (1) time per week.

ON-SITE PARKING FOR WORKERS: All vehicles belonging to construction workers shall be parked on the job site unless special approval by the building official is received. The builder shall provide an all-weather temporary drive to minimize tracking dirt, mud, etc., onto the adjacent street or streets.

HOURS OF WORK NOTICES MUST BE POSTED. The City of Bunker Hill will provide these notices in English and Spanish. The general contractor is to place them in a protective sleeve or have them laminated and post both at the site.

ALL TRASH, DEBRIS, AND LITTER MUST BE PICKED UP DAILY.

Violation of any of the above **CAN RESULT IN STOP WORK ORDERS OR A FINE OF \$2,000 OR BOTH.**

WORKING HOURS

**MONDAY – FRIDAY
7:00 A.M. TO 6:00 P.M.**

**SATURDAY
8:00 A.M. TO 5:00 P.M.**

**SUNDAY
NO WORK ALLOWED**

**RECOGNIZED HOLIDAYS
NO WORK ALLOWED**

LAS HORAS DE TRABAJO

LUNES – VIERNES

7:00 A.M. HASTA LAS 6:00 P.M.

SABADO

8:00 A.M. HASTA LAS 5:00 P.M.

**DOMINGO & DIA DE DESCANSO
NO SE PERMITE TRABAJAR**