

Hardscape & Ground Surfaces

Driveway- Sidewalk- Patio- Decks- Artificial Turf & Foundations (Permeable & Non-Permeable Projects)

Updated August 2026



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Important Design Considerations

- **Permits Required** Permits are required for ALL NEW permeable and non-permeable areas. As documents are required for these types of permits, the application must be in person at city hall. No online application is available.
- **In Kind/Same Kind** If you want to replace an existing driveway or sidewalk and you will NOT be expanding the area; you can submit the project as an "In Kind/Same Kind" in the project description. In Kind/Same Kind shall mean a reconstruction of accessory or driveway structure whereby the new project consists of the same land use, location, and size or less as previously in place, such as the reconstruction of a garage or swimming pool or driveway. This provision is designed to allow homeowners to maintain their existing structures, even if they do not meet current setbacks or lot coverage limitations. This provision is not available for New Home, Reconstruction or Addition projects. Please provide a drawing and photograph of the driveway or sidewalk as it is before the proposed work.
- **Lot Coverage** Maximum Allowable Lot Coverage by Non-permeable Surfaces is 45.0%. This is for the total lot area. City Rights-of-way are not part of the lot and therefore not included in this number. The total allowable lot coverage including permeable surfaces is 55%. This includes water surfaces as well. If you are building on a private street, please include the portions of the street which are located on your lot. Please use the [Excel Lot Calculations sheet](#) provided on the website to determine your lot coverage information.
- **Plan Size** NO DOCUMENTS OR PLANS LARGER THAN 11" X 17" MAY BE SUBMITTED. Only ONE set of documents or plans is required. Scale is not required to be maintained but dimensions must be clearly labeled on the plans. No staples or torn pages.
- **Specifications** Any concrete which is not part of an engineered structure foundation shall meet the following:
 - Minimum of 4" thickness
 - Must use either:
 - #3 bar spaced no farther apart than 14"
 - #4 bar spaced no farther apart than 18"
- **Permeable Surfaces** Any materials used as a driveway or walking path will be considered Non Permeable unless they meet the criteria shown on the Permeable Pavers specifications page. Please note the lot coverage limitations shown above apply to Permeable surfaces as well.
- **Insurance** All contractors requiring permits shall file with the city and maintain for the entire period during which work pursuant to such permit is being performed, commercial general liability insurance in an amount of not less than five hundred thousand dollars (\$500,000.00). Homeowners who will be constructing the driveway themselves and not using a contractor will not be required to provide proof of insurance.
- **Working Hours** Construction and deliveries may be between the hours of 7:00 a.m. and 6:00 p.m. on weekdays that are not Recognized Holidays, and between the hours of 8:00 a.m. and 5:00 p.m. on Saturdays that are not Recognized Holidays, except in cases of extreme and urgent

necessity in the interest of public safety with the approval of the Building Official. No construction shall be done on Sundays. Recognized Holidays shall include New Year's Day, Presidents' Day, Good Friday, Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Eve and Christmas Day.

- **Site Plan** Each site plan must clearly depict the following, as applicable:
 - (a) Basic survey;
 - (b) Forms survey (after it becomes available);
 - (c) Drainage and topographic survey;
 - (d) Standard base elevation survey;
 - (e) Easements and plat restrictions;
 - (f) Buildings and other major structures;
 - (g) Open areas, impervious areas, landscaping and areas for required trees and pervious areas;
 - (h) Yards or "setbacks"; buildable area;
 - (i) Fences;
 - (j) Mechanical equipment;
 - (k) Garage openings, pavement, parking areas, driveways, emergency access ways, fire zones, sidewalks, loading areas, curb cuts, waste storage areas and special screens;
 - (l) Drainage facilities in accordance with ARTICLE V. - FLOOD DAMAGE PREVENTION of this Chapter; or
 - (m) Other features and facilities required to comply with applicable regulations.

- **No Street Parking** For any address for which an active building or maintenance permit has been issued, all vehicles shall be required to be parked on the lot for which the permit has been issued. For private streets, parking may not be in the access easement. Vehicles parked temporarily for a period of 30 minutes or less are not required to meet this requirement. Blocking a street so that less than 15 feet of width for access is not allowed under any circumstance.

- **Generator Foundation Considerations** Standby and emergency generators shall be installed in accordance with the National Electrical Code 2023 and the following restrictions:

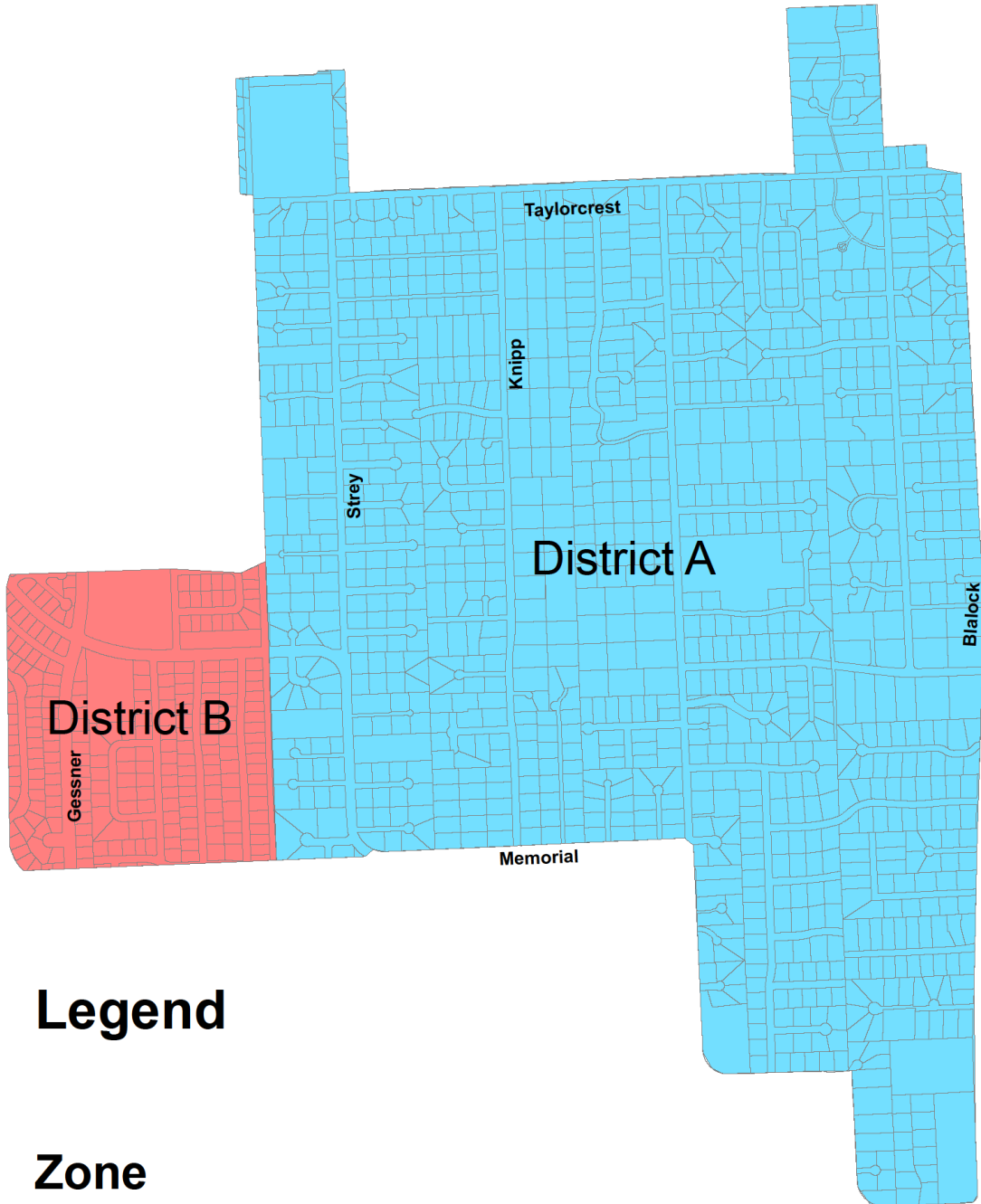
- a. All wiring shall meet all requirements outlined in this code.
- b. Maximum sound level at any time shall be 70db or less measured at the property line.
- c. Generator shall be positioned so that no structure, roof or overhang is over any portion of the generator enclosure.
- d. Minimum clearance between generator foundation and other structures shall be **18 inches or greater as determined by manufacturers' specifications. At no time shall the clearance be less than 18 inches.**
- e. No portion of the generator or wiring may be located in an easement or Right of Way.
- f. A generator may encroach into a green space (excluding utility easements) provided it meets the following condition first: The generator is placed no more than 18 inches from a structure.
- g. Generator may not be located within the required front yard of a lot.
- h. A generator cannot be visible from a public or private street.

Generator foundations to have minimum of #3 rebar at 12"-14" spacing or #4 rebar at 16"-18" spacing. Minimum thickness is 4".

- **Residential Pull Off Parking Lane** The City allows the construction of a pull off or parking lane parallel to public and private streets. The lane may be up to 8 feet in width and may extend up to the full width of the lot pending city approval. Construction of a pull off lane on city R.O.W. does not count towards lot coverage and drainage calculations. If the lane is on private property, all drainage and lot coverage considerations apply. A minimum of 8 inches of compacted road base material is required beneath a minimum of 3 inches of surface material. Base material must be compacted limestone, stabilized sand, or black base material. Inspection of the base material is required prior to installation of the surface material. The pull-off lane cannot be configured to prevent public use of space on City R.O.W.s. A permit issued for this type of project may be granted with the understanding that the City will not maintain the area and may remove the pavement without notification or compensation.

- **Affidavit Required-** A building permit shall not be issued for new construction, any addition that expands the existing building footprint, or any remodel or alteration that meets the stated impact criteria unless the applicant submits an affidavit certifying that notice of the permit application has been provided to all property owners within two hundred (200) feet of the subject property. Notification is required for projects that may create measurable off-site impacts, including footprint expansions, use of dumpsters or similar waste containers, the presence of three (3) or more trades, construction activity exceeding thirty (30) working days, or temporary obstruction of the public right-of-way or normal traffic flow. If the property is located within a subdivision governed by an active committee or association, notice must also be provided to an authorized representative of that entity; however, such notice does not replace the requirement to notify individual property owners within the 200-foot radius. Minor maintenance and cosmetic work that does not otherwise meet the impact criteria is exempt from notification, including painting, wallpapering, tiling, carpeting, cabinetry or countertop replacement, non-fire-rated drywall repair, like-material exterior trim repair, and partial roof patching. The applicant must certify by affidavit whether the proposed work is subject to the notification requirement or qualifies for an exemption.

City of Bunker Hill Village Zoning Map



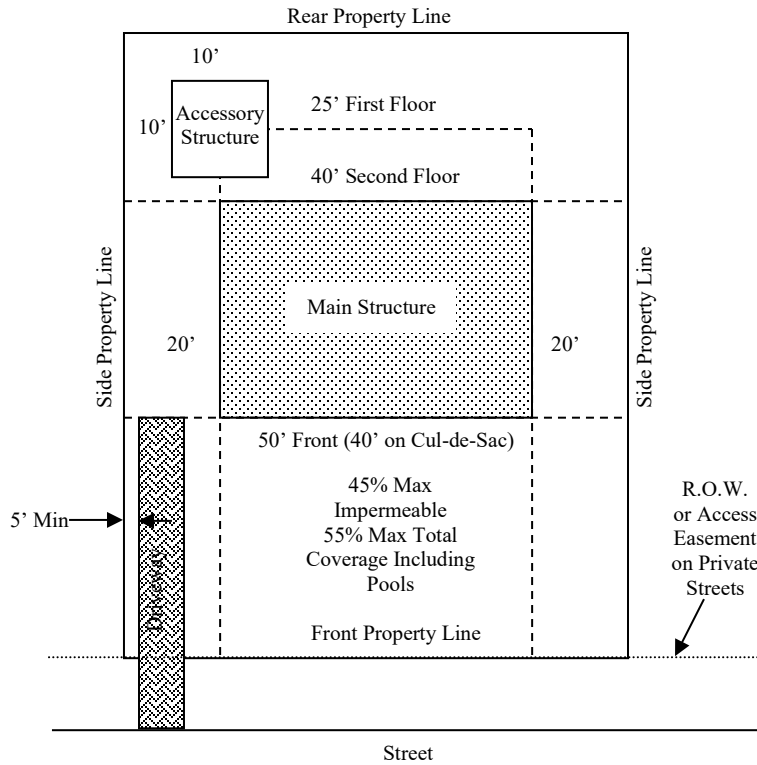
Legend

Zone

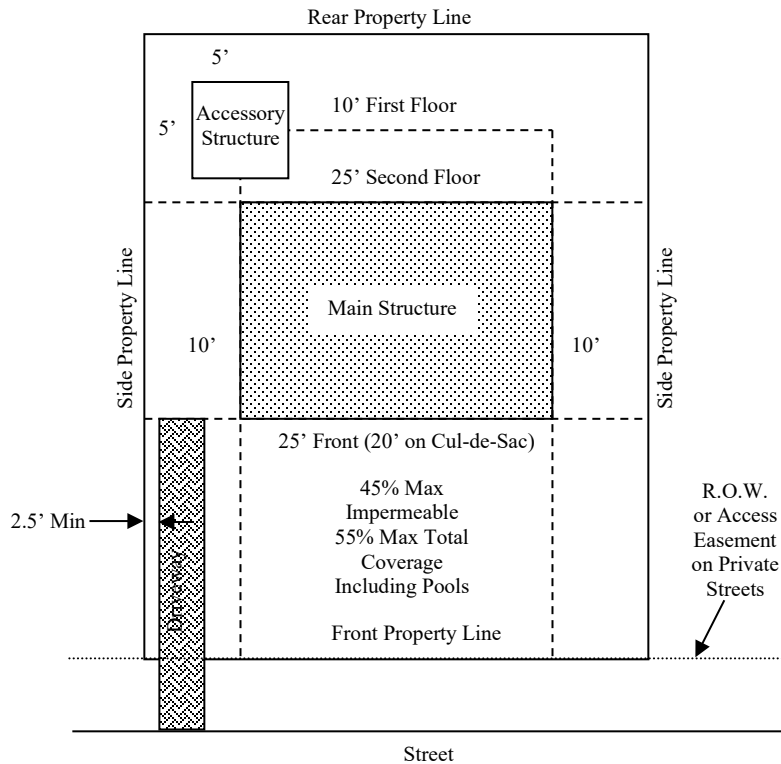
- District A
- District B



District A

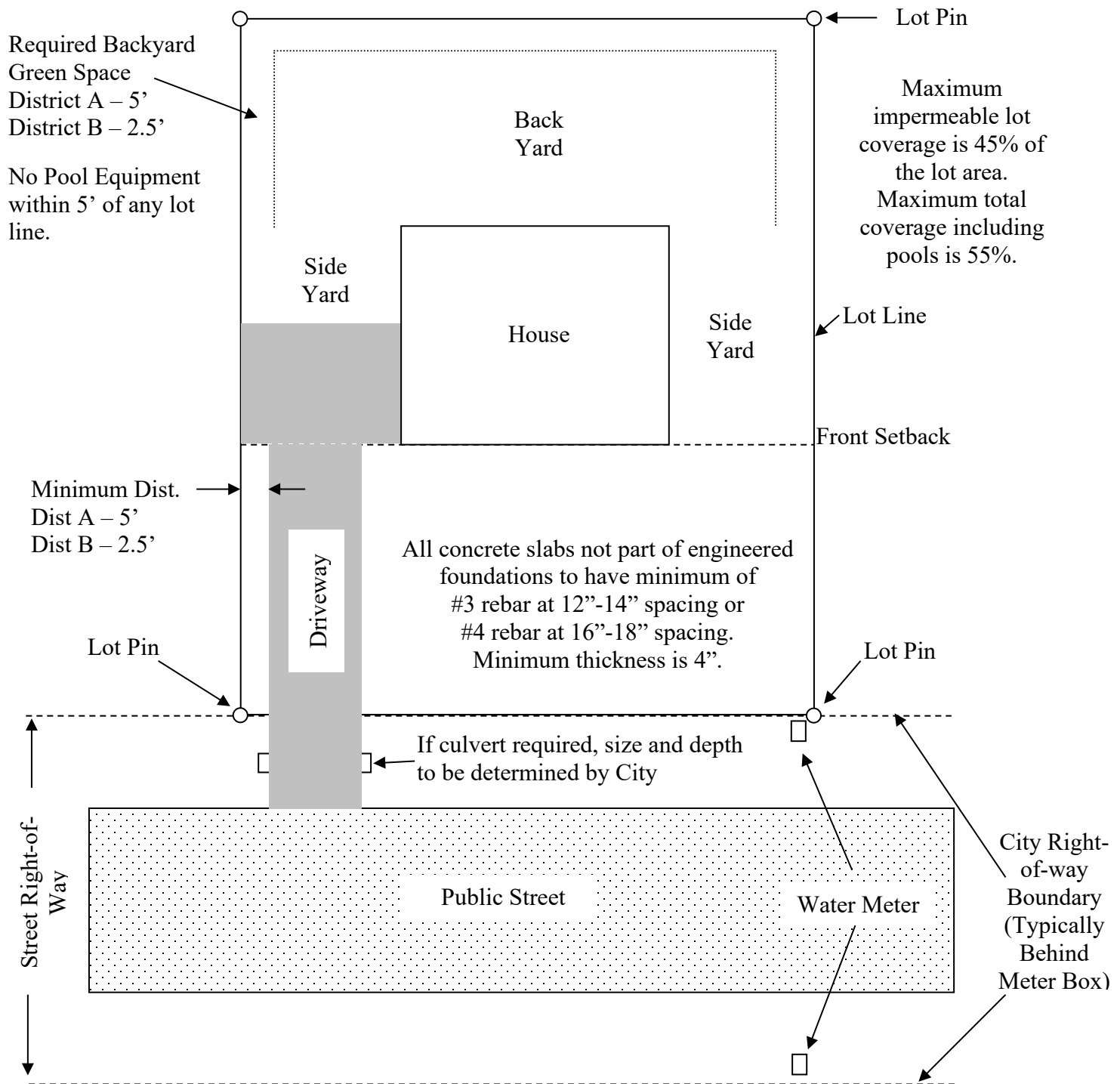


District B

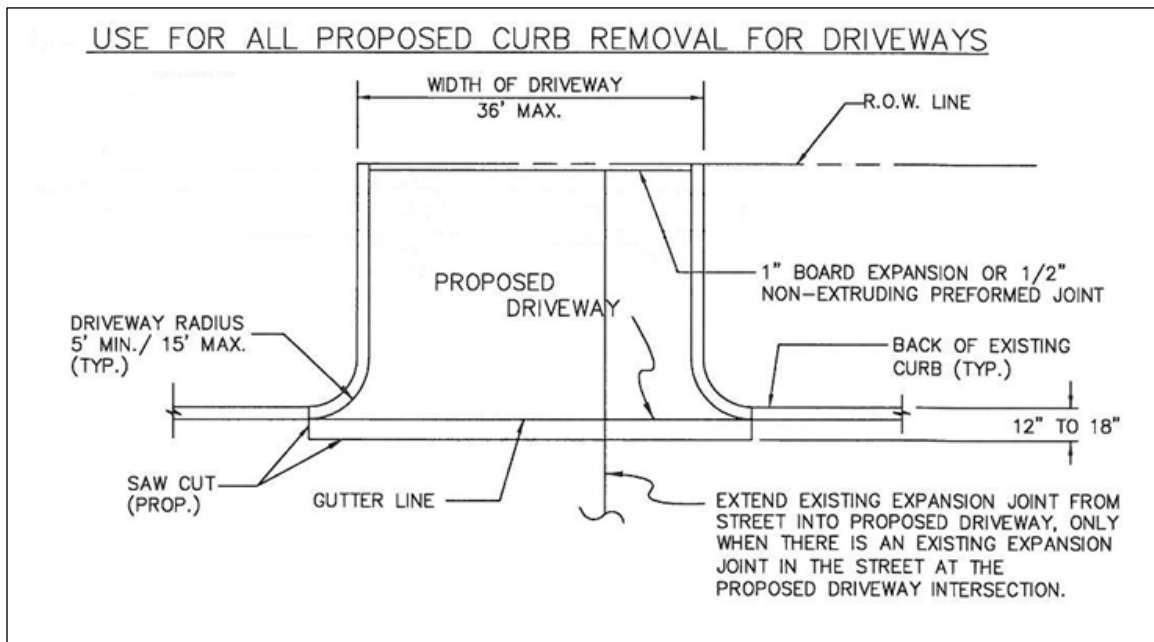




Driveway, Sidewalk, Pool Decking and Patio Requirements

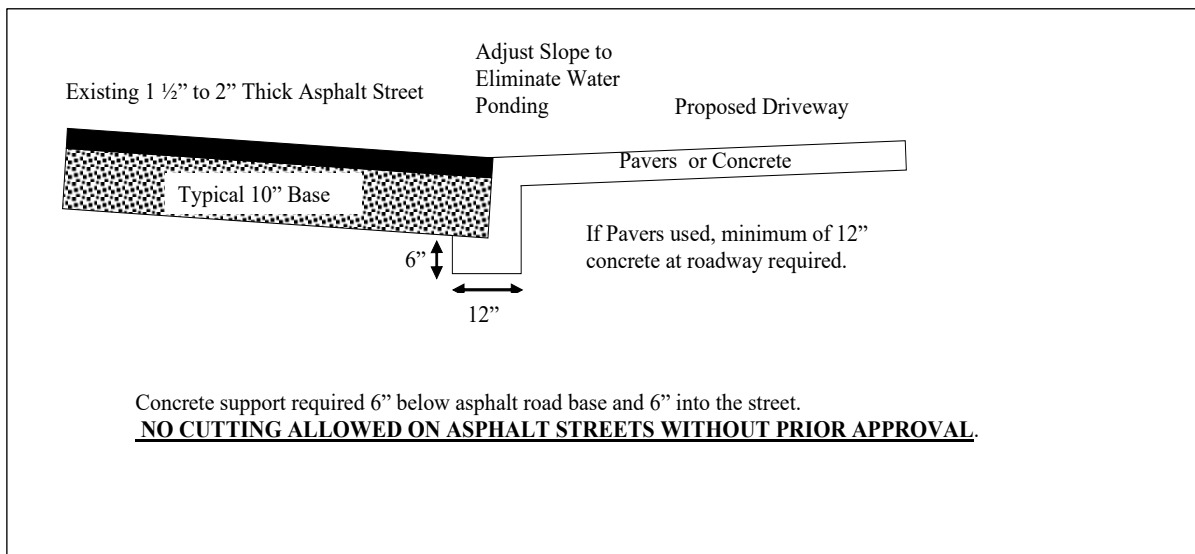


Permeable pavers must be manufactured and designated as a permeable material. Installation must comply with manufacturer's recommendations for permeable installations. Final inspection of a permeable system will include a test to confirm that all water is transferred to the soil below the paver system.



NO CUTTING OF PUBLIC STREET ALLOWED WITHOUT PRIOR APPROVAL

USE FOR ALL DRIVEWAY CONNECTIONS TO ASPHALT STREETS





Required for Approval

PERMEABLE PAVER SYSTEMS



Permeable pavers and other permeable surfaces are allowed as hardscapes but still count towards the maximum total lot coverage.

Any system which requires compacting or results in the subsoil becoming compacted will not be approved. Gravel and other aggregates spread on the ground surface will result in soil compaction over time and therefore do not qualify as permeable materials.

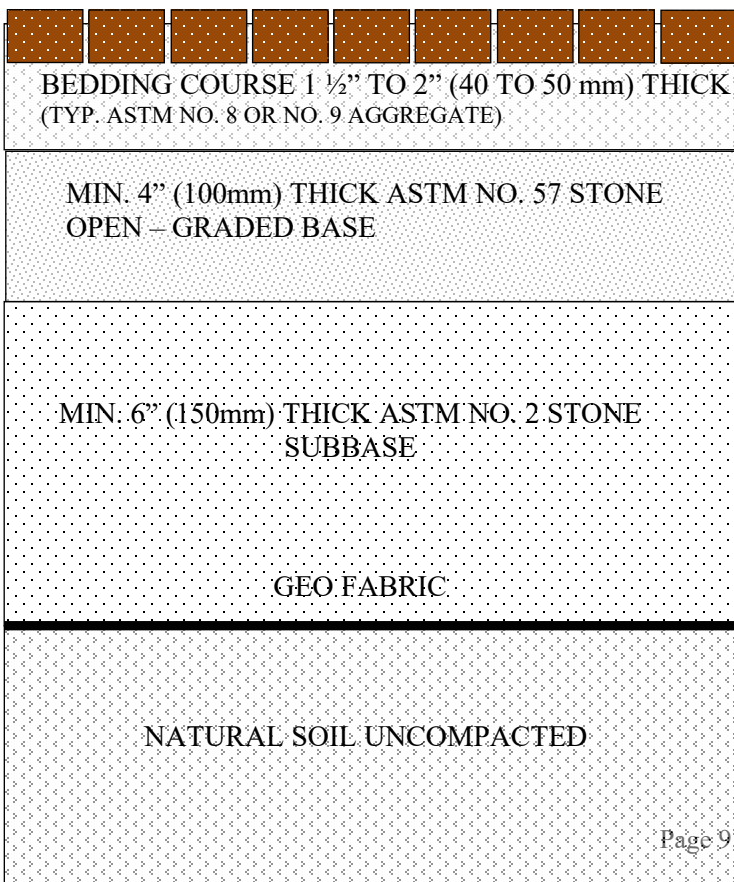
Pavers must be engineered as a permeable product and installed to allow all of the underlying soil to absorb water at the same rate as surrounding native soil. Flagstone and other large coverage materials do not meet this requirement.

Permeable pavement areas must meet the same setbacks and location restrictions as non-permeable surfaces.

Please see driveway design standards for required roadway connection requirements.

Permeable concrete may be used in the same configuration as a paver, but similar bedding, base and sub-base materials will be required to allow adequate soil absorption.

Sand materials are not allowed in any stage of a permeable system.



The drawing shown represents minimum design specifications. Please see your specific manufacturer for additional requirements.



Required Documentation

One set of the following items, no pages larger than 11" X 17", no staples

- ☐ This list with items checked if provided.

These forms are available as a fill in Excel Spreadsheet. You are encouraged to use the Spreadsheet as some results will be calculated for you.

- ☐ Contractor Information Form
- ☐ Building Permit Application
- ☐ Detention Volume and Coverage Worksheet (Even if calculation shows detention to be zero)
- ☐ Tree Inventory and Removal Form (Not Required if "In Kind/Same Kind")
- ☐ Drainage plan signed and sealed by a Civil Engineer as applicable (Not Required if "In Kind/Same Kind" and or does not exceed 199sqft of non-permeable or for turf unless designed for drainage or adverse effects are identified)
- ☐ Property Survey - 11" X 17" & as built lot coverage survey once project is complete.
- ☐ Site Plan- (property boundaries, dimensioned layouts of existing and proposed structures, setback distances, utility connections, easements, and topographical or grading data)

Artificial Turf documents (in addition to the above):

- ☐ The drainage fee (\$500.00) will be required for artificial turf projects to verify permeability. Provide a check with project submittal.
- ☐ Specifications showing turf installation and permeability required.

WORKING HOURS

**MONDAY – FRIDAY
7:00 A.M. TO 6:00 P.M.**

**SATURDAY
8:00 A.M. TO 5:00 P.M.**

**SUNDAY
NO WORK ALLOWED**

**RECOGNIZED HOLIDAYS
NO WORK ALLOWED**

LAS HORAS DE TRABAJO

LUNES – VIERNES

7:00 A.M. HASTA LAS 6:00 P.M.

SABADO

8:00 A.M. HASTA LAS 5:00 P.M.

**DOMINGO & DIA DE DESCANSO
NO SE PERMITE TRABAJAR**

Affidavit of Notification to Property Owners

Permit Applicant: _____

Address: _____

Lot: _____ Block: _____ Subdivision: _____

Proposed Work: _____

This affidavit is required for all new construction and room additions in which the footprint of the building is changed. The following language is from the City of Bunker Hill Village Ordinance No. 26-670.

(a) Affidavit Required. General Notice Requirements No building permit shall be issued for (1) the construction of a new building, (2) any addition to an existing building that expands the building footprint, or (3) any remodel or alteration that meets one or more of the "Impact Triggers" defined in **Section B**, unless the permit applicant submits an affidavit certifying that notice of the permit application has been delivered to the owners of all properties located within **two hundred (200) feet of the subject property line**.

(B) Impact Triggers for Notification Notice to adjacent property owners within the 200-foot radius shall be required for any project reasonably expected to generate any one of the following measurable off-site impacts, including but not limited to: Any addition to an existing building that expands the building footprint. The use of dumpsters or similar waste containers for any timeframe. The presence of three (3) or more trades. Construction activity that exceeds 30 working days. The temporary obstruction of the public right-of-way or interference with the normal flow of traffic due to construction-related activity **(C) Notification to Associations** If the subject property is located within a subdivision governed by a duly organized and operational committee or association, notice shall also be provided to an authorized agent or officer of such committee; however, this shall not substitute for the required notice to individual property owners within the 200-foot radius. **(D) Exclusions for Minor Maintenance and Cosmetic Work** Notification is not required for minor repairs and cosmetic maintenance that do not otherwise trigger the impacts listed in **Section B**. These exclusions include but are not limited to interior Finish Work: Painting, wallpapering, tiling, carpeting, cabinetry, or countertop replacement. Minor Structural Repair: Repairs to gypsum board (drywall) not part of a fire-rated assembly. Exterior Maintenance: Repair of exterior wood fascia, trim, and soffits using like-materials. Roofing: Patching or repairing partial roof coverings. **(E) Affidavit of Compliance** The applicant shall certify the nature of the project by affidavit. If the application does not constitute a new building, a footprint expansion, or meet any of the Impact Triggers in Section B, the applicant shall certify such fact to exempt the project from the notification requirement. The city administrator is authorized to promulgate affidavit forms for use in the implementation of this section.

(b) Form of Notice; Method of Delivery. Any notice required in paragraph (a) above shall include a general description of the proposed construction, the name of the subdivision, and the Lot and block number and street address of the Lot subject to the permit. Such notice, as outlined below, shall be delivered by depositing the same, properly addressed and postage prepaid, in the United States mail, registered or certified, return receipt requested.

(c) Waiting Period; Stop Work Orders. The building official shall not issue a building permit for construction on a Lot subject to a Recorded Restriction until the expiration of five (5) business days following the receipt of an executed affidavit that fully complies with paragraph (a) above.

I, _____ certify that I have complied with the City of Bunker Hill Village requirements as outlined above and understand that a building permit will not be issued until after five (5) business days from the date of submission of this affidavit.

Signature

Date

Notary

Date

Attachment: List of all addresses notified and the date the notification was delivered to the address. The date is the date delivered, not the date mailed.