

Driveway- Sidewalk- Patio- Decks- Equipment Foundations

(Updated March 2023)



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Important Design Considerations

- **Permits Required** Permits are required for ALL NEW permeable and non-permeable areas. As documents are required for these types of permits, the application must be in person at city hall. No online application is available.
- **In Kind/Same Kind** If you want to replace an existing driveway or sidewalk and you will NOT be expanding the area, you can submit the project as an "In Kind/Same Kind" in the project description. In Kind/Same Kind shall mean a reconstruction of accessory or driveway structure whereby the new project consists of the same land use, location, and size or less as previously in place, such as the reconstruction of a garage or swimming pool or driveway. This provision is designed to allow home owners to maintain their existing structures, even if they do not meet current setbacks or lot coverage limitations. This provision is not available for New Home, Reconstruction or Addition projects. Please provide a drawing and photograph of the driveway or sidewalk as it is before the proposed work.
- **Lot Coverage** Maximum Allowable Lot Coverage by Non-permeable Surfaces is 45.0%. This is for the total lot area. City Rights-of-way are not part of the lot and therefore not included in this number. The total allowable lot coverage including permeable surfaces is 55%. This includes water surfaces as well. If you are building on a private street, please include the portions of the street which are located on your lot. Please use the [Excel Lot Calculations sheet](#) provided on the website to determine your lot coverage information.
- **Plan Size** NO DOCUMENTS OR PLANS LARGER THAN 11" X 17" MAY BE SUBMITTED. Only ONE set of documents or plans is required. Scale is not required to be maintained but dimensions must be clearly labeled on the plans. No staples or torn pages.
- **Specifications** Any concrete which is not part of an engineered structure foundation shall meet the following:
 - Minimum of 4" thickness
 - Must use either:
 - #3 bar spaced no farther apart than 14"
 - #4 bar spaced no farther apart than 18"
- **Permeable Surfaces** Any materials used as a driveway or walking path will be considered Non Permeable unless they meet the criteria shown on the Permeable Pavers specifications page. Please note the lot coverage limitations shown above apply to Permeable surfaces as well.
- **Insurance** All contractors requiring permits shall file with the city, and maintain for the entire period during which work pursuant to such permit is being performed, commercial general liability insurance in an amount of not less than five hundred thousand dollars (\$500,000.00). Homeowners who will be constructing the driveway themselves and not using a contractor will not be required to provide proof of insurance.
- **Working Hours** Construction and deliveries may be between the hours of 7:00 a.m. and 6:00 p.m. on weekdays that are not Recognized Holidays, and between the hours of 8:00 a.m. and

5:00 p.m. on Saturdays that are not Recognized Holidays, except in cases of extreme and urgent necessity in the interest of public safety with the approval of the Building Official. No construction shall be done on Sundays. Recognized Holidays shall include New Year's Day, Memorial Day, July 4th, Labor Day, Thanksgiving Day, Christmas Eve and Christmas Day.

- **Site Plan** Each site plan must clearly depict the following, as applicable:
 - (a) Basic survey;
 - (b) Forms survey (after it becomes available);
 - (c) Drainage and topographic survey;
 - (d) Standard base elevation survey;
 - (e) Easements and plat restrictions;
 - (f) Buildings and other major structures;
 - (g) Open areas, impervious areas, landscaping and areas for required trees and pervious areas;
 - (h) Yards or "setbacks"; buildable area;
 - (i) Fences;
 - (j) Mechanical equipment;
 - (k) Garage openings, pavement, parking areas, driveways, emergency access ways, fire zones, sidewalks, loading areas, curb cuts, waste storage areas and special screens;
 - (l) Drainage facilities in accordance with ARTICLE V. - FLOOD DAMAGE PREVENTION of this Chapter; or
 - (m) Other features and facilities required to comply with applicable regulations.

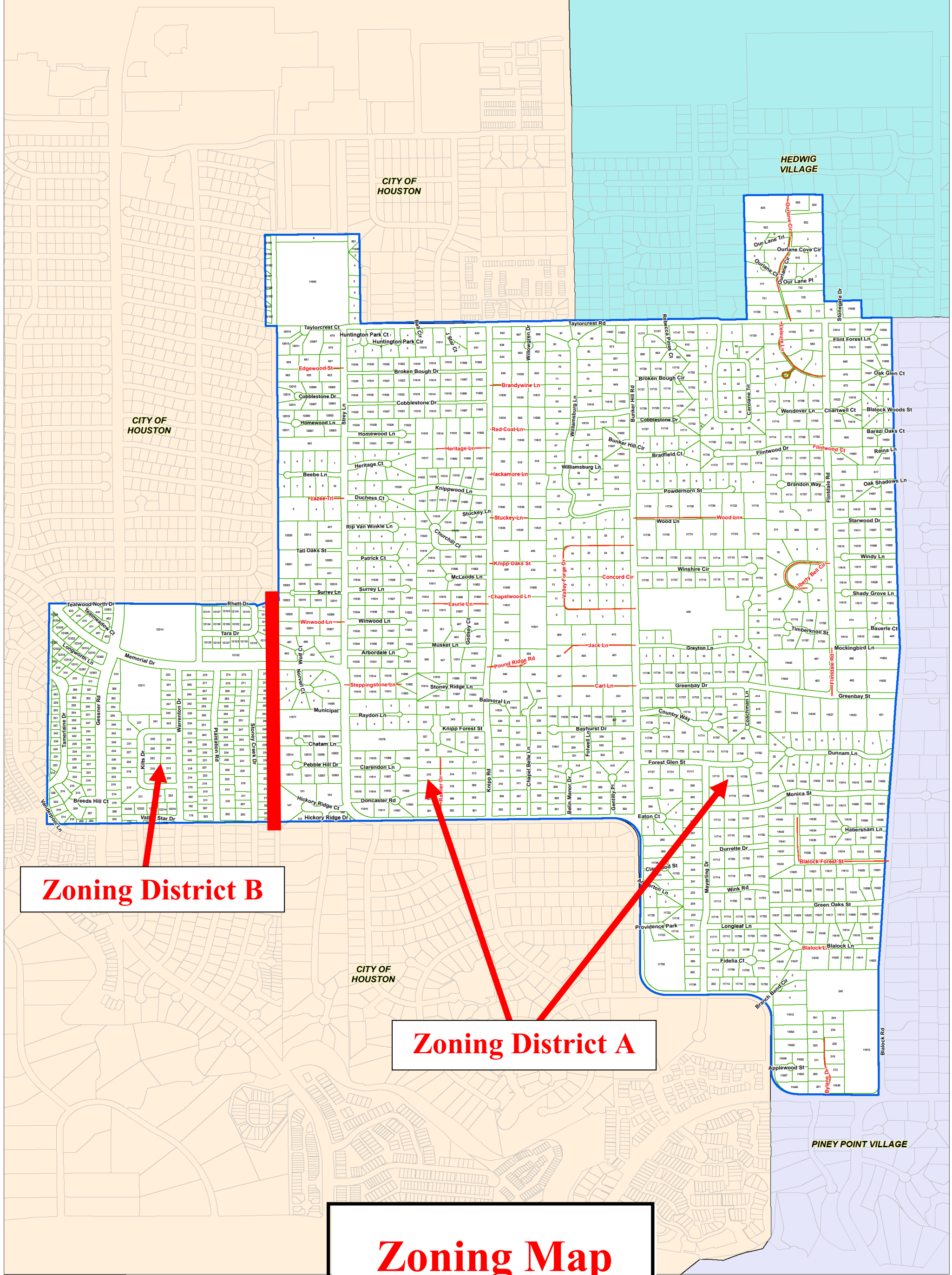
• **No Street Parking** For any address for which an active building or maintenance permit has been issued, all vehicles shall be required to be parked on the lot for which the permit has been issued. For private streets, parking may not be in the access easement. Vehicles parked temporarily for a period of 30 minutes or less are not required to meet this requirement. Blocking of a street so that less than 15 feet of width for access is not allowed under any circumstance.

• **Generator Foundation Considerations** Standby and emergency generators shall be installed in accordance with the National Electrical Code, 2011 and the following restrictions:

- a. All wiring shall meet all requirements outlined in this code.
- b. Maximum sound level at anytime shall be 70db or less measured at the property line.
- c. Generator shall be positioned so that no structure, roof or overhang is over any portion of the generator enclosure.
- d. Minimum clearance between generator foundation and other structures shall be 24 inches or greater as determined by manufacturers' specifications. At no time shall the clearance be less than 24 inches.
- e. No portion of the generator or wiring may be located in an easement or Right of Way.
- f. Generator may not be located in any restricted area or required green space.
- g. Generator may not be located within the required front yard of a lot.
- h. A generator cannot be visible from a public or private street.

Generator foundations to have minimum of #3 rebar at 12"-14" spacing or #4 rebar at 16"-18" spacing. Minimum thickness is 4".


- **Residential Pull Off Parking Lane** The City allows the construction of a pull off or parking lane parallel to public and private streets. The lane may be up to 8 feet in width and may extend up to the full width of the lot pending city approval. Construction of a pull off lane on city R.O.W. does not count towards lot coverage and drainage calculations. If the lane is on private property, all drainage and lot coverage considerations apply. A minimum of 8 inches of compacted road base material is required beneath a minimum of 3 inches of surface material. Base material must be compacted limestone, stabilized sand, or black base material. Inspection of the base material is required prior to installation of the surface material. The pull off lane cannot be configured to prevent public use of the space on City R.O.W.s. A permit issued for this type of project may be granted with the understanding that the City will not maintain the area and may remove the pavement without notification or compensation.



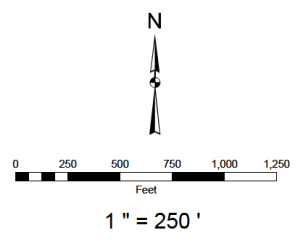
Zoning District B

Zoning District A

Zoning Map


**CITY OF
BUNKER HILL VILLAGE**

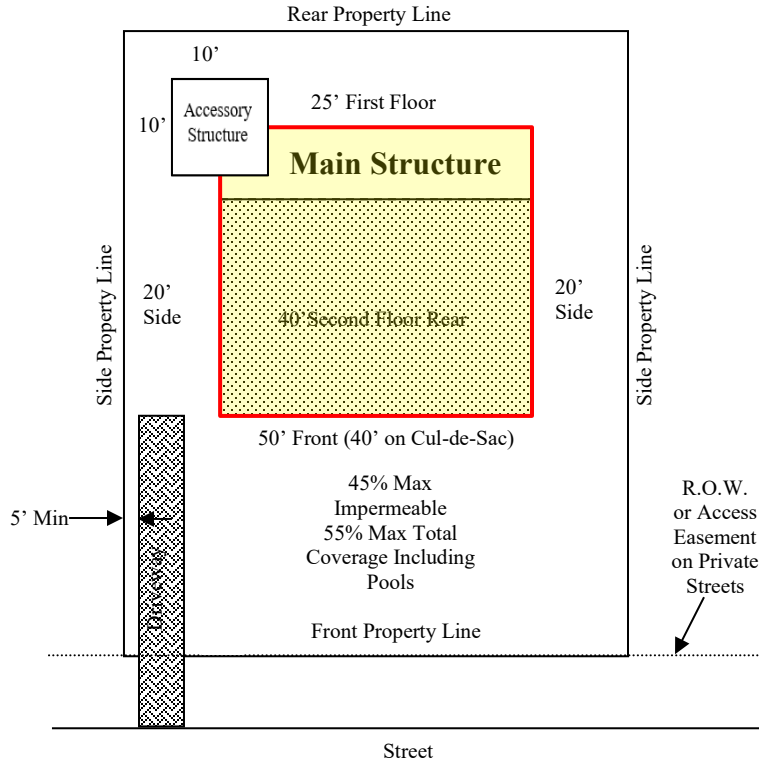
- Legend**
- PRIVATE STREETS
 - PUBLIC STREETS
 - CITY LIMITS
 - Parcel (HCAD)



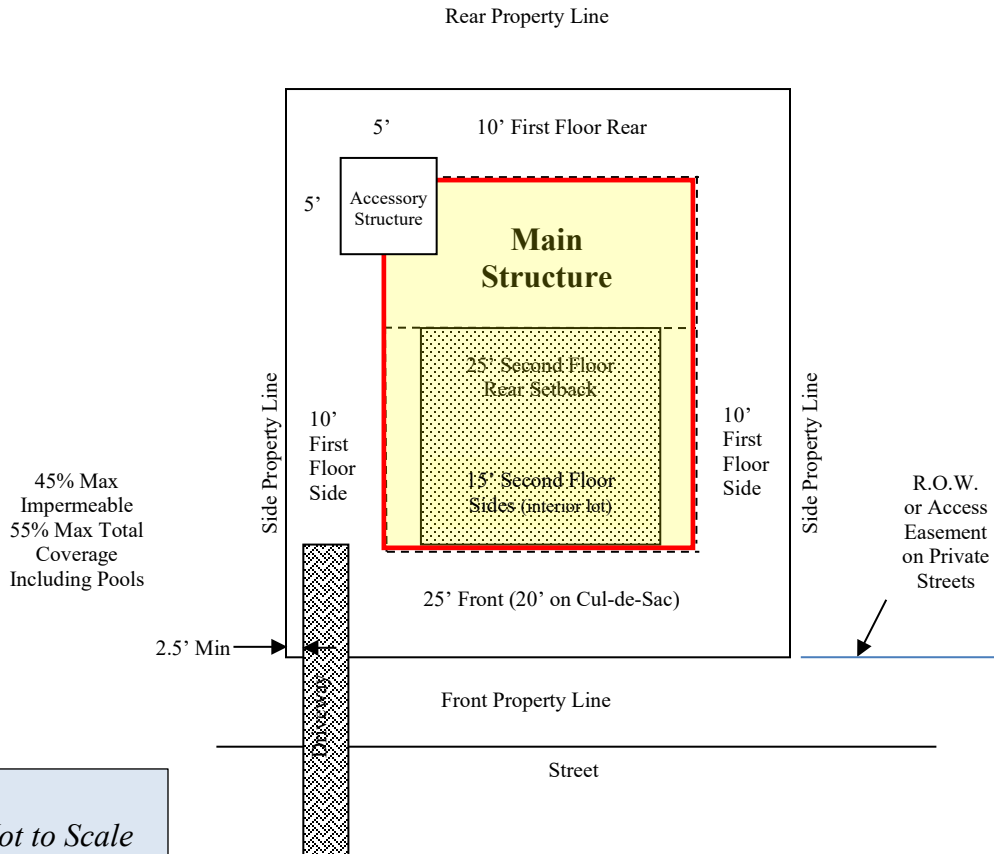
JUNE 2014



District A



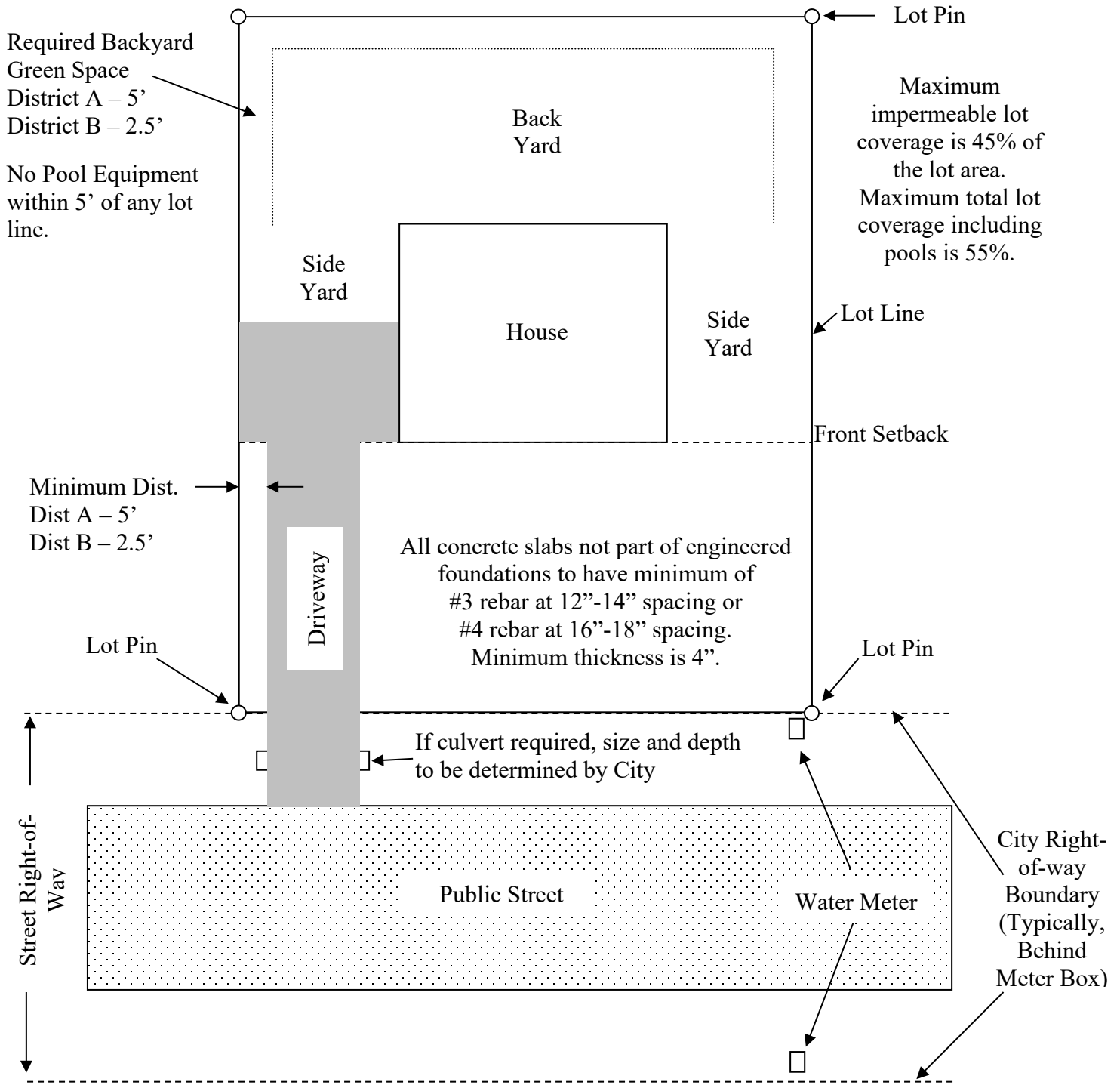
District B



NOTE:
Exhibits Not to Scale



Driveway, Sidewalk, Pool Decking and Patio Requirements

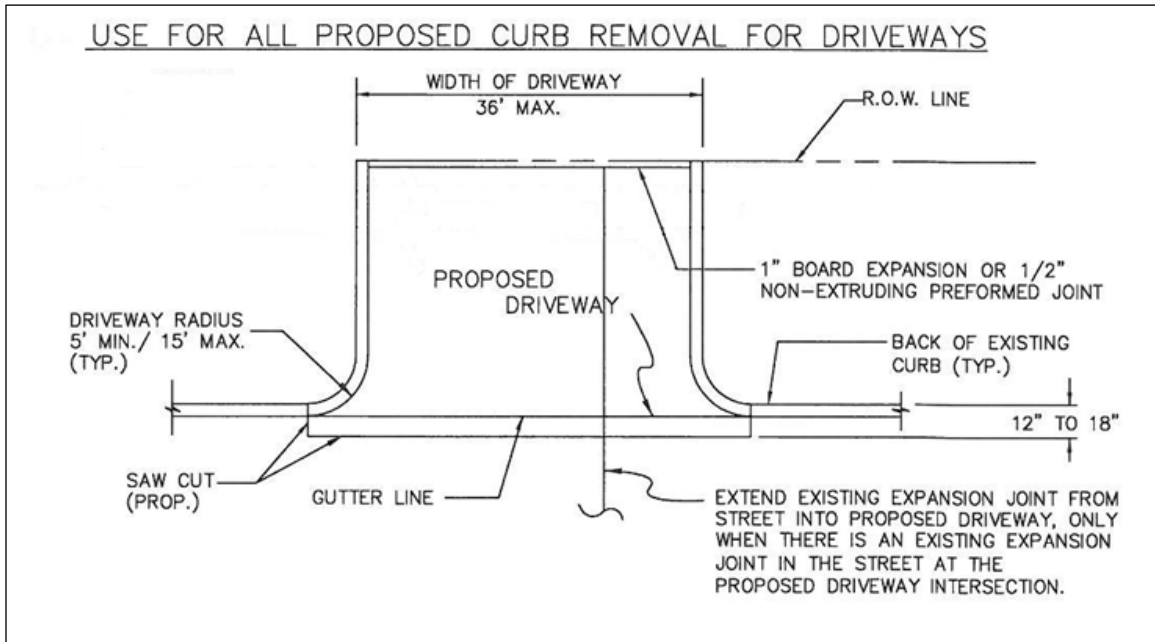


Permeable pavers must be manufactured and designated as a permeable material. Installation must comply with manufacturer's recommendations for permeable installations. Final inspection of a permeable system will include a test to confirm that all water is transferred to the soil below the paver system.

NOTE:
Exhibits Not to Scale

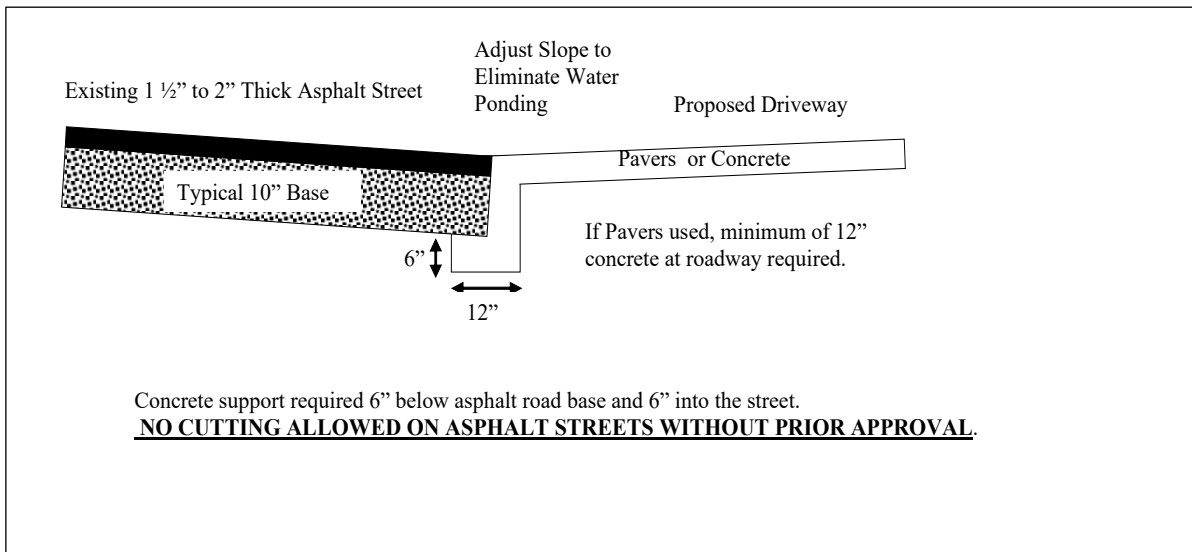
All concrete slabs not part of engineered foundations to have minimum of
#3 rebar at 12"-14" spacing or
#4 rebar at 16"-18" spacing.
Minimum thickness is 4".

Driveway Connections



NO CUTTING OF PUBLIC STREET ALLOWED WITHOUT PRIOR APPROVAL

USE FOR ALL DRIVEWAY CONNECTIONS TO ASPHALT STREETS





Permeable Paver Systems



Permeable pavers and other permeable surfaces are allowed as hardscapes but still count towards the maximum total lot coverage.

Any system which requires compacting or results in the subsoil becoming compacted will not be approved. Gravel and other aggregates spread on the ground surface will result in soil compaction over time and therefore do not qualify as permeable materials.

Pavers must be engineered as a permeable product and installed as to allow all of the underlying soil to absorb water at the same rate as surrounding native soil. Flagstone and other large coverage materials do not meet this requirement.

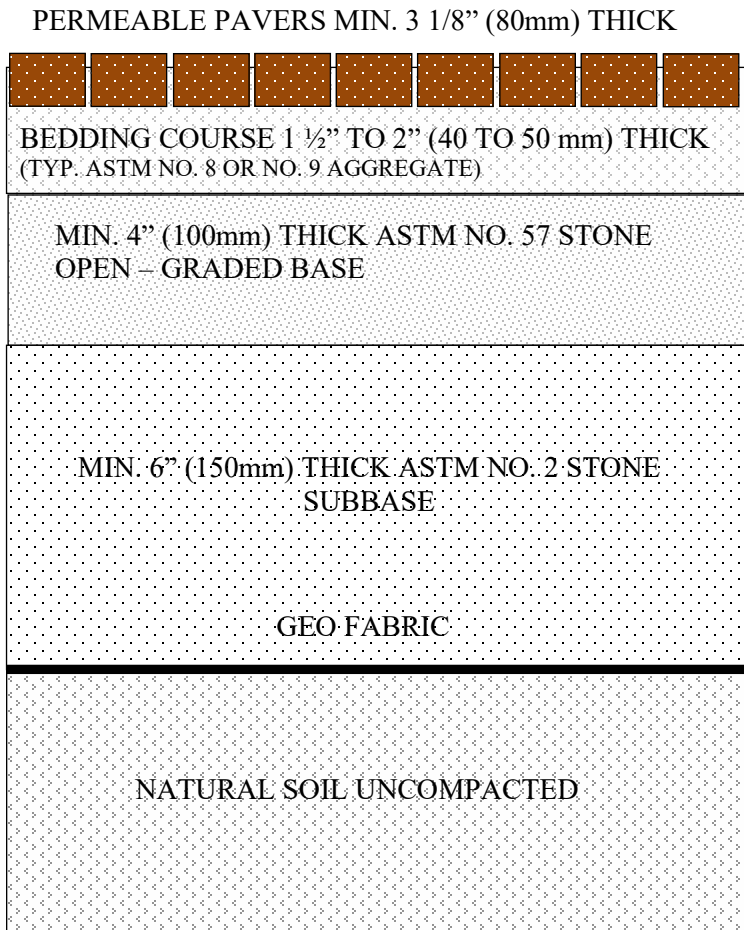
Permeable pavement areas must meet the same setbacks and location restrictions as non-permeable surfaces.

Please see driveway design standards for required roadway connection requirements.

Permeable concrete may be used in the same configuration as a paver, but similar bedding, base and sub-base materials will be required to allow adequate soil absorption.

Sand materials are not allowed in any stage of a permeable system.

The drawing shown represents minimum design specifications. Please see your specific manufacturer for additional requirements.





Driveway - Sidewalk - Patio - Deck Required Documentation

One set of the following items, no pages larger than 11" X 17", no staples please

- This list with items checked if provided.

These forms are available as a fill in Excel Spreadsheet. You are encouraged to use the Spreadsheet as some results will be calculated for you.

- Contractor Information Form
- Building Permit Application
- Detention Volume and Coverage Worksheet (Not Required if "In Kind/Same Kind")
- Tree Inventory and Removal Form (Not Required if "In Kind/Same Kind")
- Drainage plan signed and sealed by a Civil Engineer (Not Required if "In Kind/Same Kind")
- Property Survey - 11" X 17"
- Site Plan as detailed in this package



**City of Bunker Hill Village
WORKING HOURS:**

Monday – Friday

7:00 a.m. to 6:00 p.m.

Saturday

8:00 a.m. to 5:00 p.m.

Sunday & Holidays

No Work Allowed



LAS HORAS DE TRABAJO

LUNES – VIERNES

7:00 a.m. hasta las 6:00 p.m.

SABADO

8:00 a.m. hasta las 5:00 p.m.

DOMINGO

DIA DE DESCANSO

No Se Permite Trabajar