



# DRIVEWAY AND FLATWORK

Revised 01-02-13



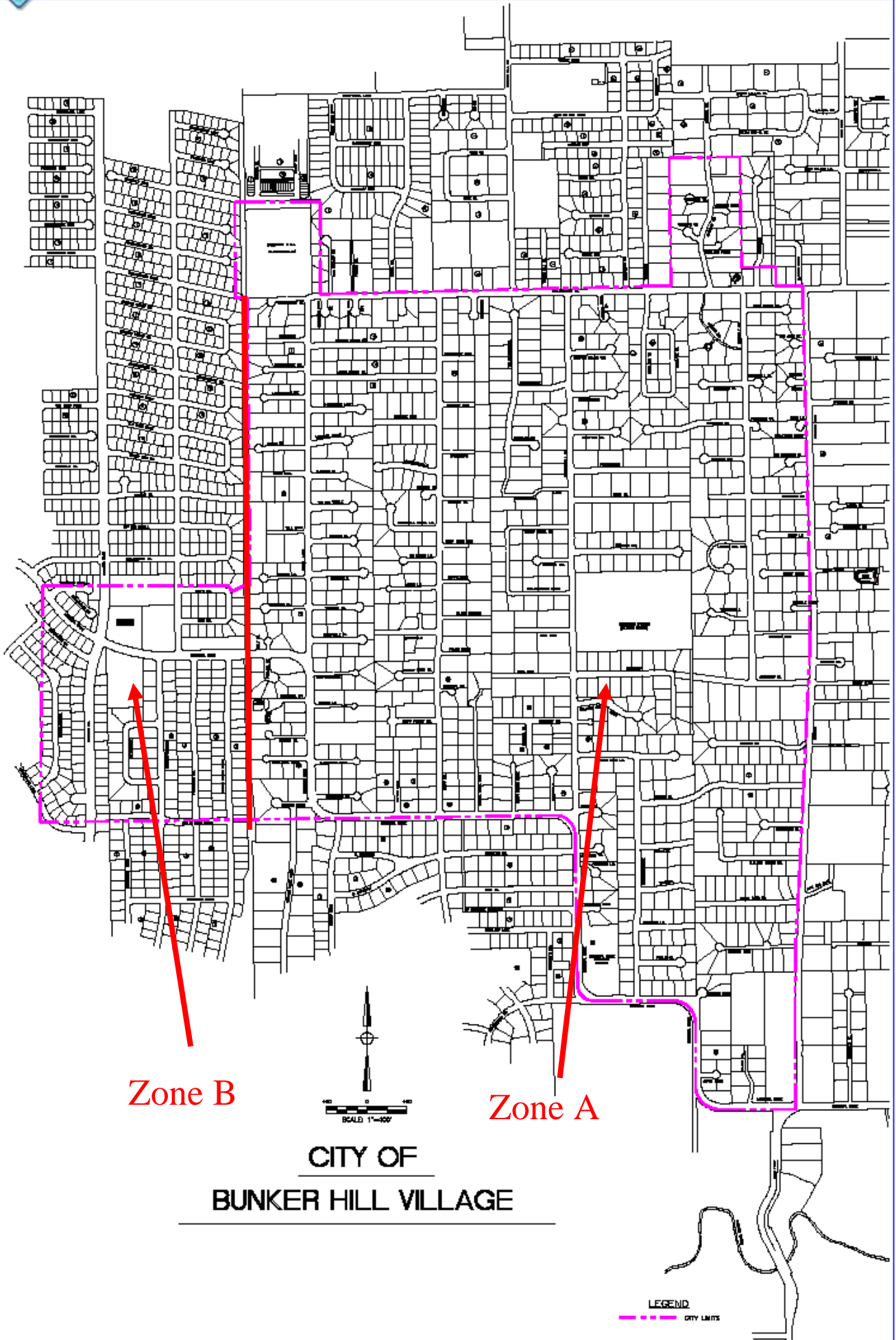
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## Driveway and Flatwork

### *Important Design Considerations*

- Permits are required for **ALL New** flatwork.
- Permits are required for concrete driveway and sidewalk replacement of 100 square feet or more.
- A driveway repair is considered to be less than 50% of the total driveway. Repairs are not required to meet current setbacks.
- A driveway replacement is considered to be 50% or more of the total driveway. Replacements must meet **ALL** current city codes including current setbacks and lot coverage limitations. An existing driveway which does not meet current setbacks or lot coverage limitations may not be approved to be replaced in the same location.
- Maximum Allowable Lot Coverage by Non-Permeable Surfaces is 45.0%. This is for the total lot area. City Rights-of-way are not part of the lot and therefore not included in this number. Please do not include lot calculation numbers for swimming pools. This information should be submitted with the pool permit application. Permeable driveway and walkways may be used to offset lot coverage numbers but the system used must be a true permeable design. See enclosed details on permeable driveways.
- **An 11" X 17" drawing is required for all new flatwork and driveway replacements.**
- Your plan submission must include a site plan with ALL city setback lines shown. The setbacks vary depending on the specific zone of the city. See the enclosed map to determine your zone. Setbacks for lots on private streets are measured from the edge of the access easement for the private street. All drawings must be 11" X 17".
- Permeable driveways, sidewalks and patios are allowed and will offset lot coverage numbers **IF** the systems meet the following specifications:
  - Pavers used must be designed as a permeable paver. Generic pavers are not permeable.
  - Permeable pavers must be installed in accordance with the manufacturer's design specifications.
  - The Permeable system selected must serve as a method of transporting water back into the underlying soil at the same rate or greater as natural ground.
- You should receive a response for your project in 10 business days or less. Projects which do not include all of the required items on the enclosed New Home Required Documentation List will be charged a \$100 resubmission fee.
-



Zone B

Zone A

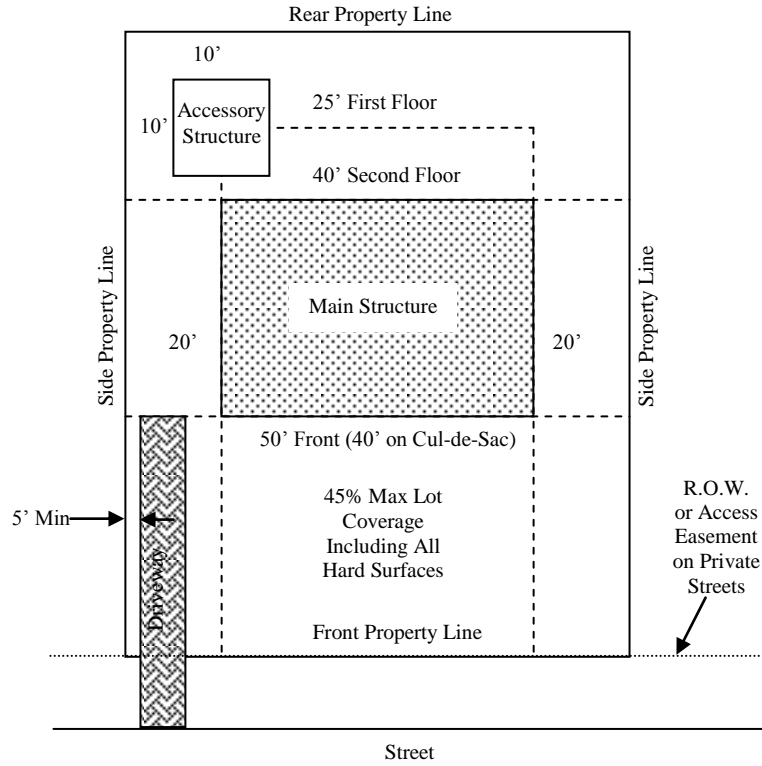
CITY OF  
BUNKER HILL VILLAGE

LEGEND

--- DRY LIMITS

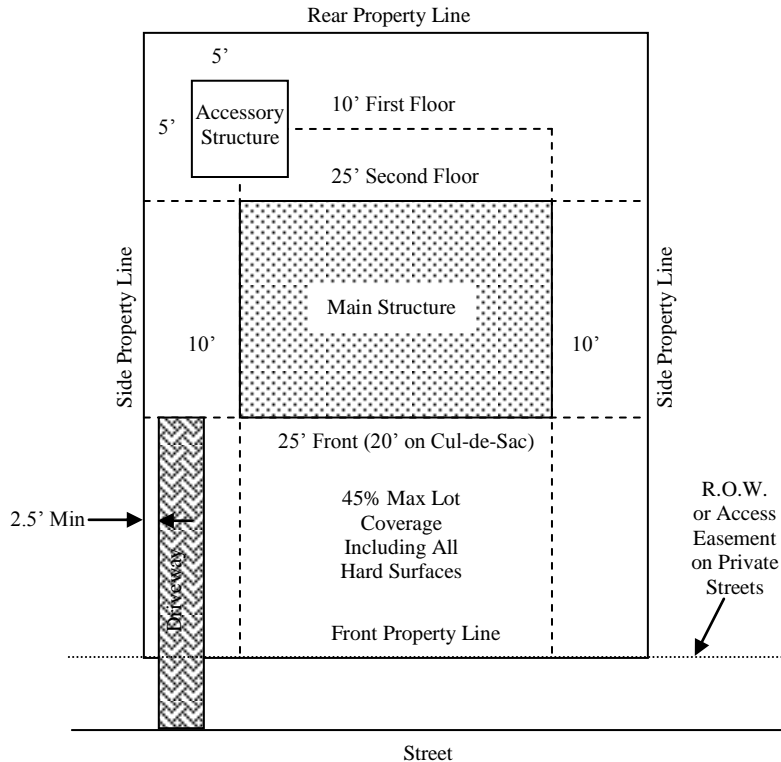


Setback Requirements  
Standard Lot  
District A



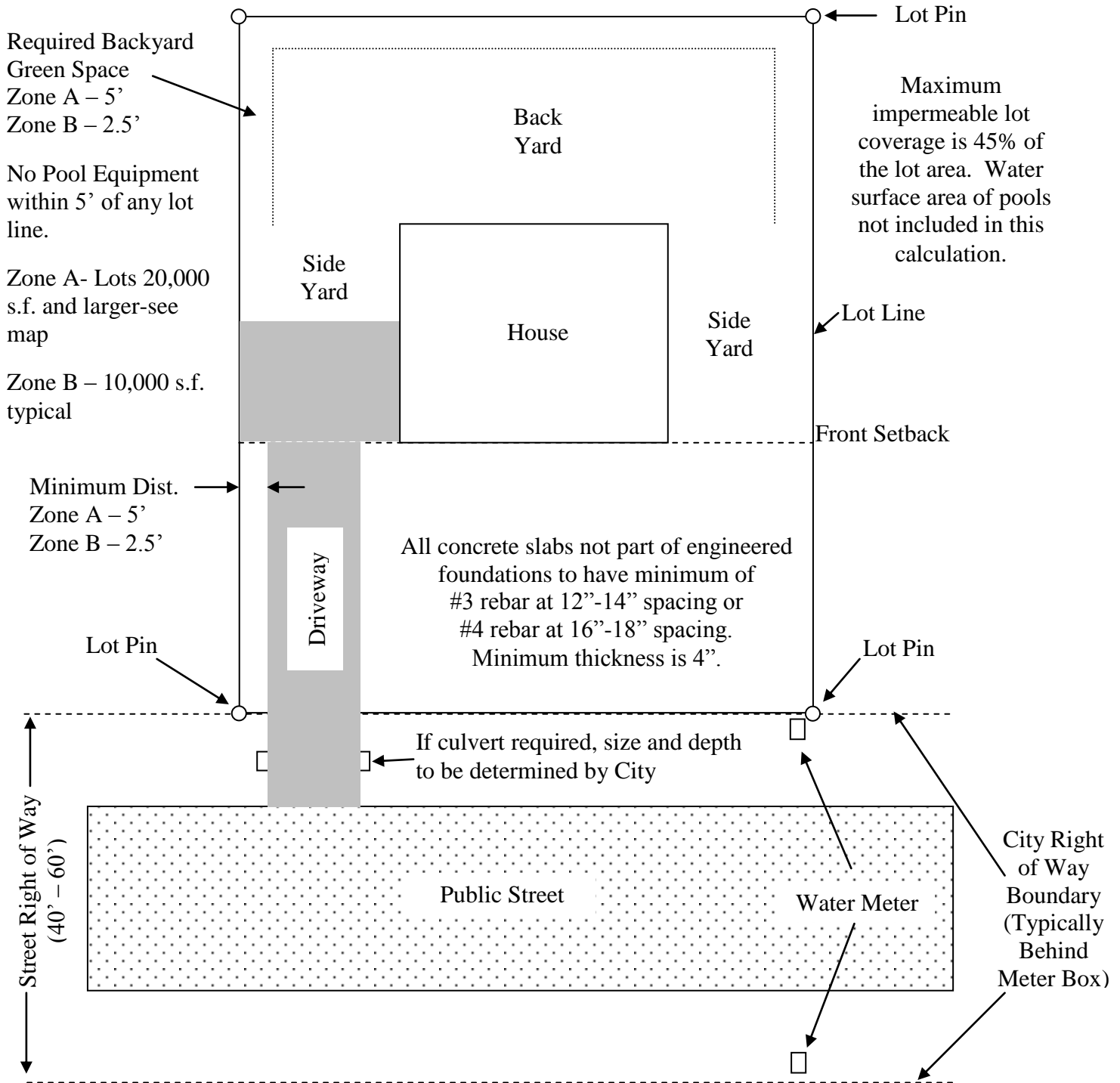
A Cud-de-Sac lot is defined as a lot which the ENTIRE front lot line is on the arc of the cul-de-sac.

Setback Requirements  
Standard Lot  
District B





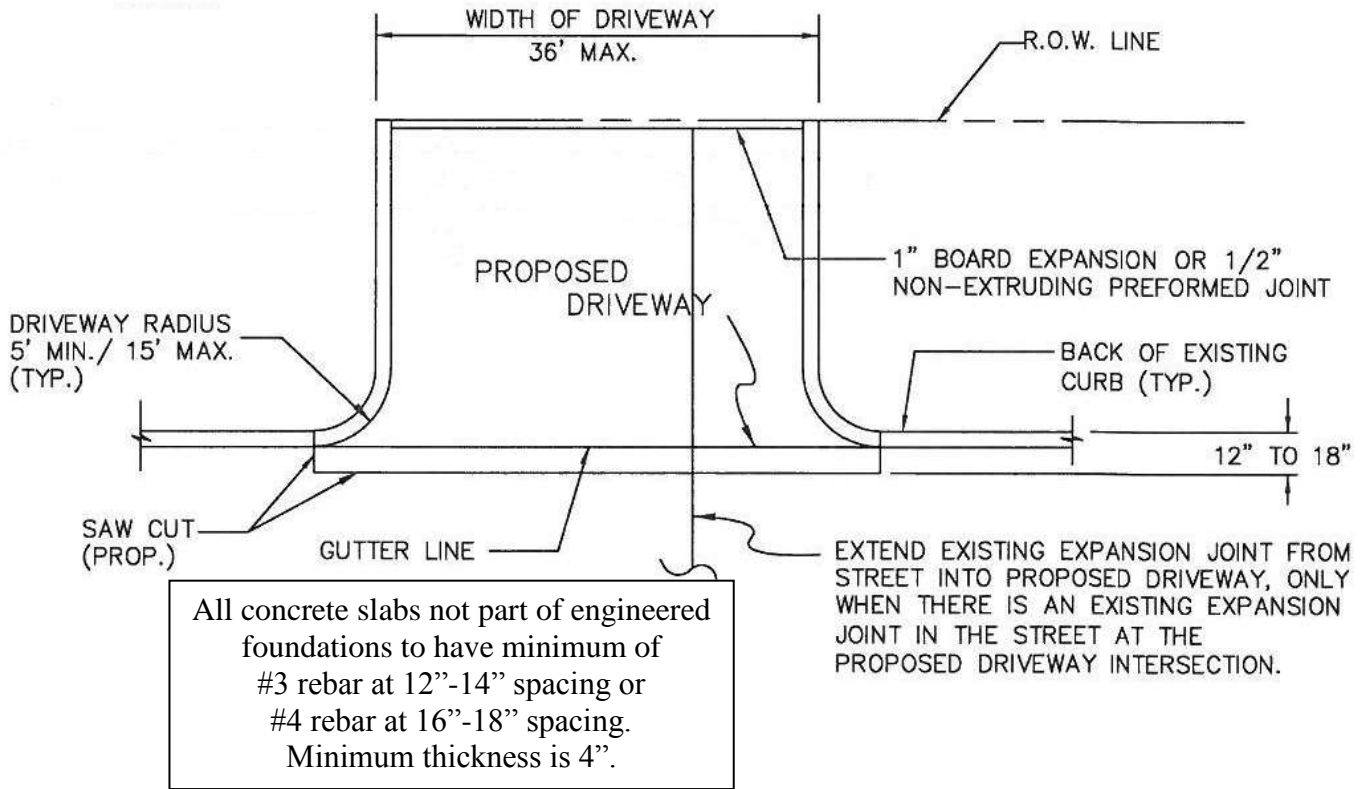
### Driveway, Sidewalk, Pool Decking and Patio Requirements



Permeable pavers must be manufactured and designated as a permeable material. Installation must comply with manufacturer's recommendations for permeable installations. Final inspection of a permeable system will include a test to confirm that all water is transferred to the soil below the paver system.

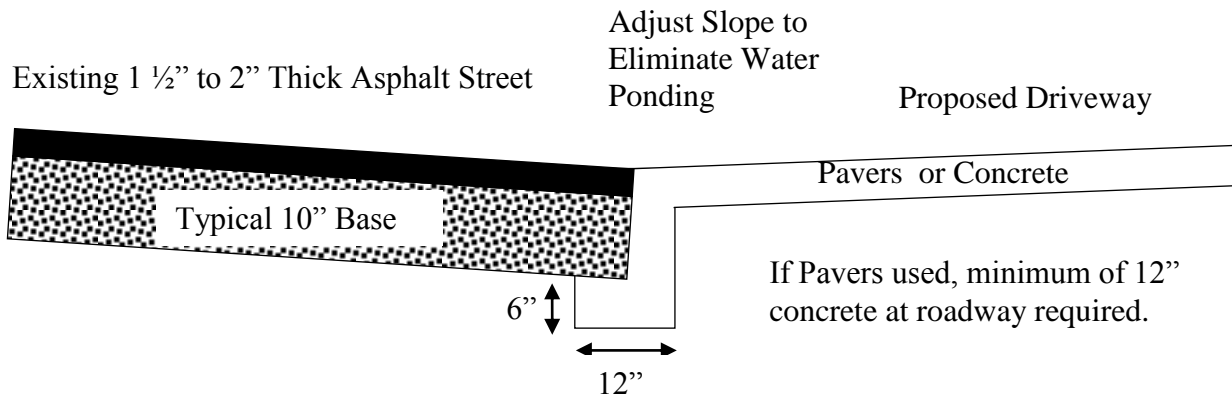


**USE FOR ALL PROPOSED CURB REMOVAL FOR DRIVEWAYS**



**NO CUTTING OF PUBLIC STREET ALLOWED WITHOUT PRIOR APPROVAL**

**USE FOR ALL DRIVEWAY CONNECTIONS TO ASPHALT STREETS**



Concrete support required 6" below asphalt road base and 6" into the street.

**NO CUTTING ALLOWED ON ASPHALT STREETS WITHOUT PRIOR APPROVAL.**

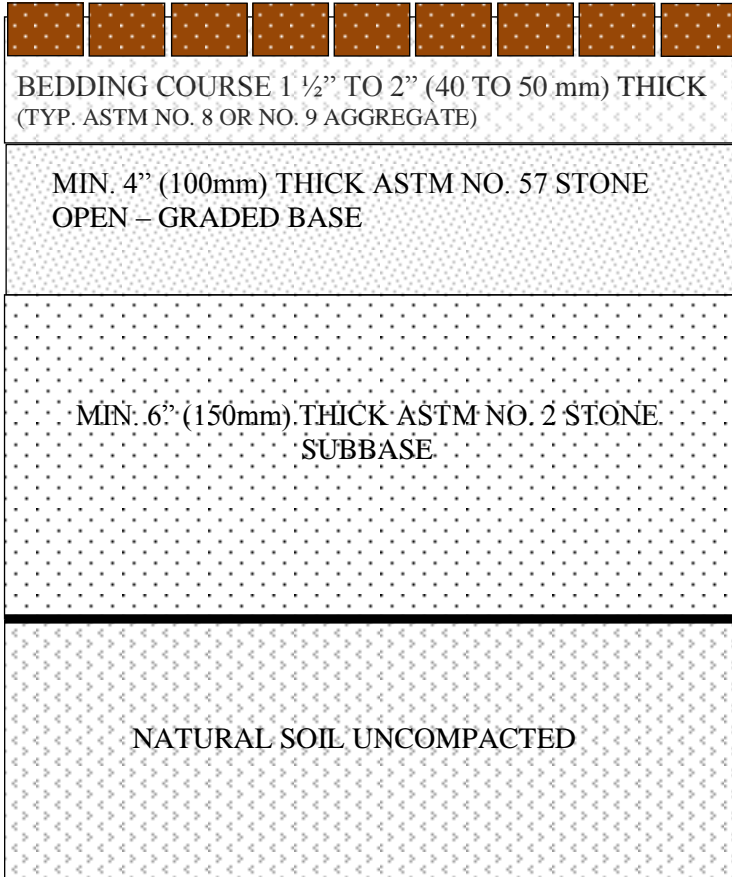




### PERMEABLE PAVER SYSTEMS



PERMEABLE PAVERS MIN. 3 1/8" (80mm) THICK



Permeable pavers and other permeable surfaces are allowed as hardscapes and may not count toward the overall lot coverage.

Any system which requires compacting or results in the subsoil becoming compacted will not be approved. Gravel and other aggregates spread on the ground surface will result in soil compaction over time and therefore do not qualify as permeable materials.

Pavers must be engineered as a permeable product and installed as to allow all of the underlying soil to absorb water at the same rate as surrounding native soil. Flagstone and other large coverage materials do not meet this requirement.

Permeable pavement areas must meet the same setbacks and location restrictions as non-permeable surfaces.

Please see driveway design standards for required roadway connection requirements.

Permeable concrete may be used in the same configuration as a paver, but similar bedding, base and sub-base materials will be required to allow adequate soil absorption.

Sand materials are not allowed in any stage of a permeable system.

The drawing shown represents minimum design specifications. Please see your specific manufacturer for additional requirements.



## **Driveway and Flatwork Required Documentation**

### **Building Submittal Package (One Set Required)**

- Permit Application
- Lot Coverage Calculations Form (Not required for Repairs – see definition)
- Property Survey by a Registered Land Surveyor. (11" X 17")
- Driveway Plan (11" X 17") show proposed work on the survey.





Required for Approval



# Building Permit Application

Date: \_\_\_\_\_

Type of Permit Requested:     Driveway/ Flatwork

Job Address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_ Mobile: \_\_\_\_\_

Type of Project: (Circle One)                    New            Addition            Alteration            Replacement

Owner of Property: \_\_\_\_\_ Valuation: \$ \_\_\_\_\_

Square Feet of New Space Air Conditioned: \_\_\_\_\_ Non AC \_\_\_\_\_ New Slab: \_\_\_\_\_

Requested Water Meter Size: \_\_\_\_\_

Minimum Distance From Proposed Structure to: North Property Line \_\_\_\_\_ South Property Line \_\_\_\_\_

West Property Line \_\_\_\_\_ East Property Line \_\_\_\_\_

I hereby certify that this property has been legally platted and is recorded as Lot \_\_\_\_\_, Block \_\_\_\_\_ of \_\_\_\_\_ Addition in Vol. \_\_\_\_\_, Page \_\_\_\_\_ of the records and maps of Harris County, Texas.

\_\_\_\_\_  
(Property Owner)

I hereby acknowledge that I have been informed that a Fire Sprinkler System is required in all new construction and in additions or remodeling projects that exceed 50% of the replacement value of the existing structure as required in N.F.P.A. 13, 13D. Fire system plans must be submitted to the Village Fire Department (901 Corbindale, Houston, Texas 77024 713-468-7941) for approval prior to construction.

\_\_\_\_\_  
(Contractor/ Agent)

For City Use Only			
Fees:	Water Tap	\$ _____	Permit No. _____
	Sewer Connection Charge	\$ _____	Fire System Approval Date _____
	Water Deposit	\$ _____	Permit Number _____
	Connection Total	\$ _____	Permit Fee \$ _____



# LOT COVERAGE CALCULATIONS

JOB ADDRESS: \_\_\_\_\_

LOT AREA \_\_\_\_\_ SQ. FT.

BUILDING AREA \_\_\_\_\_ SQ. FT.

OTHER AREAS \_\_\_\_\_ SQ. FT.

TOTAL PERCENTAGE OF LOT COVERAGE \_\_\_\_\_%

Building area is the square footage of the lot covered by buildings only.

Other areas include decks, patios, courts, walkways, drives or any other surface that would render the underlying ground impermeable.

The water surface of a pool shall **NOT** be considered as part of the lot coverage.

I certify that the above information is true and correct.

\_\_\_\_\_  
Contractor's Signature

\_\_\_\_\_  
Date

\*\*\*\*\*

Ordinance No. 03-289, adopted by the City Council of the City of Bunker Hill Village, on August 19, 2003, stipulates the following:

**Building area.** The building area shall not exceed forty-five percent (**45%**) of the area of the lot in both District A and District B. For the purposes hereof, building area shall include portions of a lot which are covered with buildings or structures which render the underlying ground impermeable, including, but not limited to, building foundations, driveways, sidewalks, walkways, sundecks, patios, or tennis courts, and other impervious surfaces.”



Required for Approval



# Contractor Registration

Company Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Office Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Field Contact Person: \_\_\_\_\_ Telephone: \_\_\_\_\_

Texas License Type: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Name on License: \_\_\_\_\_

License Number: \_\_\_\_\_

Insurance Underwriter: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

Please request your insurance carrier to fax the required insurance certificate to (713) 827-8752. The City of Bunker Hill must be the certificate holder shown on the certificate. A copy of your applicable state license is also required. A permit will not be issued until this information is on file.



## **WORKING HOURS**

**MONDAY – FRIDAY  
7:00 A.M. TO 6:00 P.M.**

**SATURDAY  
8:00 A.M. TO 5:00 P.M.**

**SUNDAY  
HOLIDAY (NO WORK ALLOWED)**



## **LAS HORAS DE TRABAJO**

### **LUNES – VIERNES**

**7:00 A.M. HASTA LAS 6:00 P.M.**

### **SABADO**

**8:00 A.M. HASTA LAS 5:00 P.M.**

### **DOMINGO**

**DIA DE DESCANSO (NO SE PERMITE  
TRABAJAR)**



## **Required Driveway Flatwork Inspections**

**Fax Inspection Requests 1 day in advance to the City of Bunker Hill using the form provided in this package. All inspections must be performed by City of Bunker Hill inspectors. Third party inspections do not take the place of city inspections.**

- Pre-pour - Steel prior to pouring or Base for permeable type systems

# INSPECTION REQUEST FORM



CONTRACTOR: \_\_\_\_\_

JOB SITE ADDRESS \_\_\_\_\_ CONTRACTOR FAX: \_\_\_\_\_

CONTACT PERSON: \_\_\_\_\_ PHONE NUMBER: \_\_\_\_\_

PERMIT# \_\_\_\_\_ DATE FOR INSPECTION: \_\_\_\_\_ Time Desired: \_\_\_\_\_

Please fax this form by 4:00 pm to insure next day inspections.

## Building

- \_\_\_\_\_ Site
- \_\_\_\_\_ Pier
- \_\_\_\_\_ Foundation\*
- \_\_\_\_\_ Wind Bracing
- \_\_\_\_\_ Brick Tie
- \_\_\_\_\_ Frame Cover
- \_\_\_\_\_ Polly Seal
- \_\_\_\_\_ Insulation
- \_\_\_\_\_ Wall Board
- \_\_\_\_\_ Final

\*Form Survey must be presented and approved before a Foundation Inspection will be scheduled.

- \_\_\_\_\_ Pressurization
- \_\_\_\_\_ Shower Pan
- \_\_\_\_\_ Water Lines/Water Heaters
- \_\_\_\_\_ Gas Turn On
- \_\_\_\_\_ Area Drains
- \_\_\_\_\_ Final

## Driveway/Sidewalk

- \_\_\_\_\_ Approach
- \_\_\_\_\_ Pre-Pour
- \_\_\_\_\_ Culvert
- \_\_\_\_\_ Final

## Mechanical

- \_\_\_\_\_ Cover
- \_\_\_\_\_ Register/Box Seal
- \_\_\_\_\_ Change Out
- \_\_\_\_\_ Final

## Fence

- \_\_\_\_\_ Final

## Electrical (Electrician must be present @ inspection)

- \_\_\_\_\_ Cover
- \_\_\_\_\_ Temporary Pole Set
- \_\_\_\_\_ TCI
- \_\_\_\_\_ Underground
- \_\_\_\_\_ Swimming Pool
- \_\_\_\_\_ Final

## Pool

- \_\_\_\_\_ Stake Out
- \_\_\_\_\_ Steel
- \_\_\_\_\_ Decking
- \_\_\_\_\_ Final

## Plumbing

- \_\_\_\_\_ Sewer Disconnect
- \_\_\_\_\_ Underground
- \_\_\_\_\_ Cover

## Irrigation

- \_\_\_\_\_ Final

## Demolition

- \_\_\_\_\_ Pre-Demo

**Roof** \_\_\_\_\_ Final

Comments: \_\_\_\_\_

Site Inspection is to confirm the presence of 1) On Site Parking 2) Dumpster 3) Screened Sanitary Facilities 4) Filter Fabric and Runoff Protection 5) Temporary Drainage 6) Tree Protection 7) Permit Posting Station 8) Address Clearly visible from the street.





## Generator Requirements

Standby and emergency generators shall be installed in accordance with the National Electrical Code, 2011 and the following restrictions:

- a. All wiring shall meet all requirements outlined in this code.
- b. Maximum sound level at anytime shall be 70db or less measured at the property line.
- c. Generator shall be positioned so that no structure, roof or overhang is over any portion of the generator enclosure.
- d. Minimum clearance between generator foundation and other structures shall be 24 inches or greater as determined by manufacturers' specifications. At no time shall the clearance be less than 24 inches.
- e. No portion of the generator or wiring may be located in an easement or Right of Way.
- f. Generator may not be located in any restricted area or required green space.
- g. Generator may not be located within the required front yard of a lot.
- h. A generator cannot be visible from a public or private street.

**All concrete slabs not part of engineered foundations to have minimum of #3 rebar at 12"-14" spacing or #4 rebar at 16"-18" spacing. Minimum thickness is 4".**

Most generator installations will require the following permits:

- **Electrical** – All wiring connecting to the generator, transfer switch and existing house electrical system will require inspections. Any buried lines must be in conduit with warning tape in the trench.
- **Flatwork** (Foundation) Prefabricated slabs do not require a permit. Location restrictions still apply.
- **Plumbing Basic gas line connection** - This permit does not include provisions for an additional gas meter or gas meter upgrade.
- **Plumbing Additional Gas Meter** – Plumbing contractor must request this type of permit to obtain an additional gas meter. Plumbing contractor must make arrangements with CenterPoint Energy to obtain the additional meter. Please call CenterPoint at 713-207-2222.
- **Plumbing Gas Meter Upgrade** – Plumbing contractor must request this type of permit to obtain an upgrade to the gas meter. Plumbing contractor must make arrangements with CenterPoint Energy to obtain the upgraded meter. Please call CenterPoint at 713-207-2222.